

File Number: Acu-24-54



COOS COUNTY CONDITIONAL USE LAND USE APPLICATION
SUBMIT TO COOS COUNTY PLANNING DEPT. AT 60 E. SECOND STREET OR MAIL TO:
COOS COUNTY PLANNING 250 N. BAXTER, COQUILLE OR 97423. EMAIL
PLANNING@CO.COOS.OR.US PHONE: 541-396-7770

If the fee is not included the application will not be processed

(If payment is received a file number is required prior to submittal)

Date Received: 10/15/24 Receipt #: 252829 Amount: 1600 Received by: MB

This application shall be filled out electronically. If you need assistance please contact staff.

Applications shall be submitted by the property owner or a purchaser under a recorded land sale contract. "Property owner" means the owner of record, including a contract purchaser.

The application shall include the signature of all owners of the property.

A legal representative may sign on behalf of an owner upon providing evidence of formal legal authority to sign.

LAND INFORMATION

A. Property Owner(s) David Leff

Mailing address: 87432 Cranberry Creek Lane, Bandon, OR 97411

Phone: 541-404-4262

Email: TwinCreekRanch@gmail.com

Township:	Range:	Section:	¼ Section:	1/16 Section:	Tax lots:
29S	15W	24	Select	Select	500
Select	Select	Select	Select	Select	

Tax Account Number(s):	<u>R 1241000 5403</u>	Zone: Select Zone	<u>Forest (F)</u>
Tax Account Number(s):			<u>Please Select</u>

B. Special Districts and Services

Water	Select type of Water Service	Sewage Disposal	Select type of Sewage System
School	Coos Bay	Fire District	Bandon RFPD

C. Type of Application (s) please consult with staff to determine prior to submittal

- Administrative Conditional Use for Installation of Wireless Communications Facility in Forest Zone
- Hearings Body Conditional Use for
- Historical, Cultural and Archaeological Resources, Natural Areas of Wilderness
- Beaches and Dunes
- Non-Estuarine Shoreland Boundary
- Significant Wildlife Habitat
- Natural Hazards

<input type="checkbox"/> Flood	<input type="checkbox"/> Landslide	<input type="checkbox"/> Liquefaction	<input type="checkbox"/> Erosion	<input type="checkbox"/> Wildfires
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- Airport Surfaces Overlay
- Variance to which standard

Include the supplemental application with all criteria addressed. If you require assistance with the criteria please contact a land use attorney or professional consultant. Property information may be obtained from a tax statement or can be found on the County Assessor's web page at the following links:

[Map Information](#) Or [Account Information](#)

D. **ATTACHED WRITTEN STATEMENT.** With all land use applications, the “burden of proof” is on the applicant. It is important that you provide information that clearly describes the nature of the request and indicates how the proposal complies with all of the applicable criteria within the Coos County Zoning and Land Development Ordinance (CCZLDO). You must address each of the Ordinance criteria on a point-by-point basis in order for this application to be deemed complete. A planner will explain which sections of the Ordinance pertain to your specific request. The information described below is required at the time you submit your application. The processing of your application does not begin until the application is determined to be complete. An incomplete application will postpone the decision, or may result in denial of the request. Please mark the items below to ensure your submittal is complete.

Application Check List: Please make off all steps as you complete them.

I. **PROPOSAL AND CRITERIA:** A written statement of intent, attached to this application, with necessary supporting evidence which fully and factually describes the following:

1. Project summary and details including timelines.
2. A complete explanation of how the request complies with the applicable provisions and criteria in the Zoning Ordinance. A planner will explain which sections of the Ordinance pertain to your specific request. You must address each of the Ordinance criteria on a point-by-point basis in order for this application to be deemed complete. This shall be addressed on the supplemental criteria page (see staff for criteria).

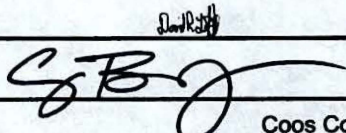
II. **PLOT PLAN OR SKETCH PLAN:** A detailed drawing delineating the following:

- Owner's name, address, and phone number, map and Tax lot number
- North Arrow and Scale - using standard engineering scale.
- Accurate shape and dimensions of parcel, development site, including the lengths of the all property lines.
- Any adjacent public or private roads, all easements and/or driveway locations. Include road names. Driveway location and parking areas, including the distance from at least one property line to the intersection of the driveway and the road (apron area);
- All natural features, which may include, but are not limited to water features, wetlands, ravines, slope and distances from features to structures.
- Existing and proposed structures, water sources, sewage disposal system and distances from these items to each other and the property boundaries.

III. **DEED:** A copy of the current deed, including the legal description, of the subject property.

IV. **CERTIFICATION:** I certify that this application and its related documents are accurate to the best of my knowledge. I am aware that there is an appeal period following the date of the Planning Director's decision on this land use action. I understand that the signature on this application authorizes representatives of the Coos County Planning Department to enter upon the subject property to gather information pertinent to this request. If this application is refereed directly to a hearings officer or hearings body I understand that I am obligated to pay the additional fees incurred as part of the conditions of approval. I understand that I/we are not acting on the county's behalf and any fee that is a result of complying with any conditions of approval is the applicants/property owner responsibility. I understand that conditions of approval are required to be complied with at all time and an violation of such conditions may result in a revocation of this permit. If the property owner would like staff to contact a legal representative or consultant please provide the contact information using a consent form.

PROPERTY OWNER SIGNATURES REQUIRED FOR PROCESSING



ACCESS INFORMATION

The Coos County Road Department will be reviewing your proposal for safe access, driveway, road, and parking standards. There is a fee for this service. If you have questions about these services please contact the Road Department at 541-396-7660.

Property Address: 87432 Cranberry Creek Lane, Bandon, OR 97411

Type of Access: Public Road Name of Access: Cranberry Creek Lane

Is this property in the Urban Growth Boundary? No

Is a new road created as part of this request? No

Required parking spaces are based on the use of the property. If this is for a residential use two spaces are required. Any other use will require a separate parking plan submitted that is required to have the following items:

- Current utilities and proposed utilities;
- Roadmaster may require drawings and specs from the Oregon Standards Specification Manual (OSSC) (current edition).
- The location and design of bicycle and pedestrian facilities shall be indicated on the site plan if this is a parking plan;
- Location of existing and proposed access point(s) on both sides of the road where applicable;
- Pedestrian access and circulation will be required if applicable. Internal pedestrian circulation shall be provided in new commercial, office, and multi-family residential developments through the clustering of buildings, construction of walkways, landscaping, accessways, or similar techniques;
- All plans (industrial and commercial) shall clearly show how the internal pedestrian and bicycle facilities of the site connect with external existing or planned facilities or systems;
- Distances to neighboring constructed access points, median openings (where applicable), traffic signals (where applicable), intersections, and other transportation features on both sides of the property;
- Number and direction of lanes to be constructed on the road plus striping plans;
- All planned transportation features (such as sidewalks, bikeways, auxiliary lanes, signals, etc.); and
- Parking and internal circulation plans including walkways and bikeways, in UGB's and UUC's.

Additional requirements that may apply depending on size of proposed development.

- a. Traffic Study completed by a registered traffic engineer.
- b. Access Analysis completed by a registered traffic engineer
- c. Sight Distance Certification from a registered traffic engineer.

Regulations regarding roads, driveways, access and parking standards can be found in Coos County Zoning and Land Development Ordinance (CCZLDO) Article 7.

By signing the application I am authorizing Coos County Roadmaster or designee to enter the property to determine compliance with Access, Parking, driveway and Road Standards. Inspections should be made by calling the Road Department at 541-396-7660

Coos County Road Department Use Only

Roadmaster or designee: _____

Driveway Parking Access Bonded Date: Receipt # _____

File Number: DR-

SANITATION INFORMATION

If this is a request for a recreational, commercial, industrial, vacation rental, manufactured home park, mass or small gathering Coos Health and Wellness, Environmental Health Staff will be reviewing the proposal to ensure the use meets environmental health standards for sanitation and water requirements to serve the facility. If the proposal indicates that you are using a community water system a review may be required. A fee is charged for this service and shall be submitted with the application \$83.00. If you have questions about regulations regarding environmental health services please call 541-266-6720. This form is required to be signed off for any type of subdivision, recreational, commercial, industrial, vacation rental, manufactured home park, mass or small gathering.

Water Service Type: Select

Sewage Disposal Type: Select

Please check if this request is for industrial, commercial, recreational or home base business use and complete the following questions:

- How many employees/vendors/patrons, total, will be on site?
- Will food be offered as part of the an on-site business?
- Will overnight accommodations be offered as part of an on-site business?
- What will be the hours of operation of the business?

Please check if the request is for a land division.

Coos County Environmental Health Use Only:

Staff Reviewing Application: _____





Staff Signature: _____

- This application is found to be in compliance and will require no additional inspections
- This application is found to be in compliance but will require future inspections
- This application will require inspection prior to determining initial compliance. The applicant shall contact Coos Health and Wellness, Environmental Heath Division to make an appointment.

Additional Comments:

Title	VZW Misty Meadows_Coos County Type II Admin CUP Application
File name	VZW Misty Meadows...P Application.pdf
Document ID	4fc9c6c240ac934f6e52df199b016c83586376ad
Audit trail date format	MM / DD / YYYY
Status	● Signed

Document History

 SENT	09 / 27 / 2024 08:43:52 UTC-7	Sent for signature to David Leff (twincreekranch@gmail.com) from cebrunk@mac.com IP: 162.125.47.52
 VIEWED	09 / 27 / 2024 08:59:23 UTC-7	Viewed by David Leff (twincreekranch@gmail.com) IP: 50.45.148.76
 SIGNED	09 / 27 / 2024 09:04:14 UTC-7	Signed by David Leff (twincreekranch@gmail.com) IP: 50.45.148.76
 COMPLETED	09 / 27 / 2024 09:04:14 UTC-7	The document has been completed.



Coos County Planning Department
60 E. Second, Coquille, Oregon 97423
Mailing Address: 225 N. Adams, Coquille, Oregon 97423
(541) 396-7770
TDD (800) 735-2900

CONSENT

On this 10th day of October, 2024,

I, David Leff

(Print Owners Name as on Deed)

as owner/owners of the property described as Township 29S, Range 16W,

Section 24, Tax Lot 500, Deed Reference _____

Provide consent for Coos County Planning Staff to provide any information on the property identified in this form to the following people:

Name: Craig Brunkenhoefer obo/ Smartlink Group

Mailing Address: 11044 SW Davos Ln, Wilsonville, OR 97070

Phone Number: 503-505-0272

Email: craig.brunkenhoefer@smartlinkgroup

Owners Signature/s

David R. Leff

Title	David Leff_Coos County Landlord Consent Form
File name	David Leff_Coos C... Consent Form.pdf
Document ID	b29ca4138841f2f46481dc49ba7b680c92852253
Audit trail date format	MM / DD / YYYY
Status	● Signed

Document History



SENT

10 / 11 / 2024
10:28:22 UTC-7

Sent for signature to David Leff (twincreekranch@gmail.com)
from cebrunk@mac.com
IP: 162.125.47.33



VIEWED

10 / 12 / 2024
07:07:23 UTC-7

Viewed by David Leff (twincreekranch@gmail.com)
IP: 50.45.148.76



SIGNED

10 / 12 / 2024
07:08:22 UTC-7

Signed by David Leff (twincreekranch@gmail.com)
IP: 50.45.148.76



COMPLETED

10 / 12 / 2024
07:08:22 UTC-7

The document has been completed.

TOWAIR Determination Results

A routine check of the coordinates, heights, and structure type you provided indicates that this structure does not require registration.

*** NOTICE ***

TOWAIR's findings are not definitive or binding, and we cannot guarantee that the data in TOWAIR are fully current and accurate. In some instances, TOWAIR may yield results that differ from application of the criteria set out in 47 C.F.R. Section 17.7 and 14 C.F.R. Section 77.13. A positive finding by TOWAIR recommending notification should be given considerable weight. On the other hand, a finding by TOWAIR recommending either for or against notification is not conclusive. It is the responsibility of each ASR participant to exercise due diligence to determine if it must coordinate its structure with the FAA. TOWAIR is only one tool designed to assist ASR participants in exercising this due diligence, and further investigation may be necessary to determine if FAA coordination is appropriate.

DETERMINATION Results

PASS SLOPE(100:1)NO FAA REQ - 4447.0 Meters (14589.7 Feet)away & below slope by 7.0 Meters (22.9699 Feet)

Type	C/R	Latitude	Longitude	Name	Address	Lowest Elevation (m)	Runway Length (m)
AIRP	R	43-04-53.00N	124-24-28.00W	BANDON STATE	COOS BANDON, OR	32.0	1097.5999999999999

Your Specifications

NAD83 Coordinates

Latitude 43-02-32.3 north
 Longitude 124-25-10.7 west

Measurements (Meters)

Overall Structure Height (AGL) 48.8
 Support Structure Height (AGL) 45.7
 Site Elevation (AMSL) 20.9

Structure Type

MTOWER - Monopole

Tower Construction Notifications

Notify Tribes and Historic Preservation Officers of your plans to build a tower.



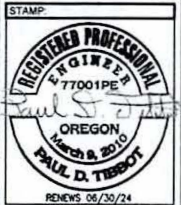


SITE NAME: MISTY MEADOWS
VERTICAL BRIDGE SITE NO. US-OR-5130
VERIZON PROJECT NO. 16994190 / MDG 5000916280
87432 CRANBERRY CREEK LN.
BANDON, OR 97411



PROJECT INFO
 VERTICAL BRIDGE SITE NUMBER
US-OR-5130
 SITE NAME:
MISTY MEADOWS
 87432 CRANBERRY CREEK LN.
 BANDON, OR 97411
 COOS COUNTY

PLANS PREPARED BY:
TIBBOT ENGINEERING LLC
 12725 SE MILLIKAN WAY, STE 300
 BEAVERTON, OR 97005
 503-345-2921

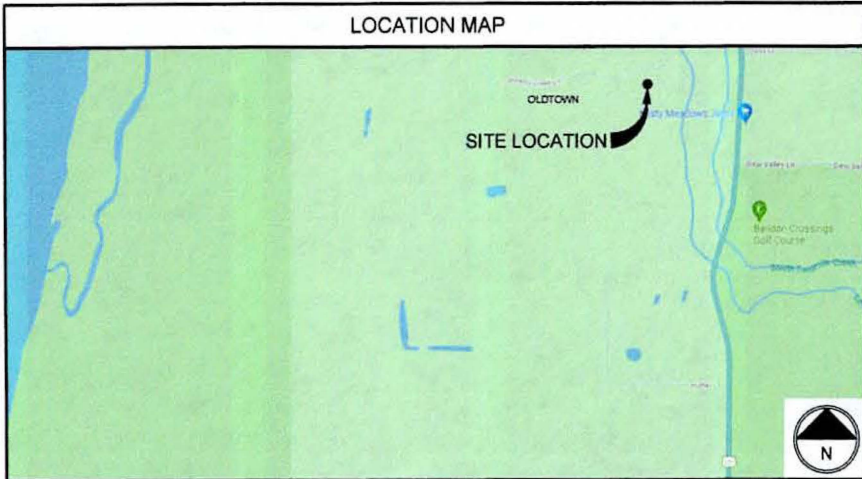


PROJECT #	
23-0041	
ISSUED FOR	
REVIEW	
SUBMITTALS	
REV	DATE DESCRIPTION BY
A	4/3/24 PRELIM CDS -
0	5/25/24 FINAL CDS -
1	8/1/24 FIBER UCR -

DRAWN BY: -
 CHECKED BY: -
 CURRENT ISSUE DATE:
8/1/24

THE INFORMATION CONTAINED
 IN THIS SET OF CONSTRUCTION
 DOCUMENTS IS PROPRIETARY
 BY NATURE. ANY USE OR
 DISCLOSURE WITHOUT OWNER
 PERMISSION IS STRICTLY
 PROHIBITED.

SHEET TITLE:	
TITLE SHEET	
SHEET NUMBER:	REV.
T-1	1



SHEET INDEX		
INC	DWG #	DESCRIPTION
X	T-1	TITLE SHEET
X	LS-1	SITE SURVEY
X	LS-2	SURVEY DETAIL
X	LS-3	SURVEY NOTES
X	GN-1	GENERAL NOTES
X	A-1	OVERALL SITE PLAN
X	A-2	SITE PLAN
X	A-3	ELEVATIONS
X	A-4	DETAILS
X	A-5	DETAILS
X	A-6	DETAILS
X	A-7	SIGNAGE DETAILS
X	A-8	SIGNAGE DETAILS
X	RF-1	ANTENNA PLAN
X	RF-2	PLUMBING DIAGRAM
X	RF-3	RF DETAILS
X	E-1	UTILITY PLAN
X	E-2	ONE-LINE AND PANEL SCHEDULE
X	E-3	ELECTRICAL DETAILS
X	G-1	GROUNDING PLAN
X	G-2	GROUNDING DETAILS

SITE INFORMATION
SITE LOCATION:
 ACCOUNT NO.: 1241000
 MAP / TAX LOT: 29615W24 500
 LATITUDE: N 43° 02' 32.02" (43.042231)
 LONGITUDE: W 124° 29' 10.07" (-124.419484)
 TOP OF STRUCTURE AGL: 1605'-0"
 BASE OF STRUCTURE AMSL: 68.5± (NAD86)
 *BASED ON 1A CERTIFICATION BY SURVEYOR (AMBIT, 3/1/2024)
PROJECT AREA:
 APPROXIMATE LEASE AREA (VERTICAL BRIDGE): 3,600.00 SQ. FT.
 APPROXIMATE LEASE AREA (VERIZON): 500.00 SQ. FT.

PROJECT TEAM
PROPERTY OWNER:
 DAVID R. LEFF
 87432 CRANBERRY CREEK LN.
 BANDON, OR 97411
APPLICANT:
 SMARTLINK GROUP
 10 CHURCH CIRCLE
 ANNAPOLIS, MD 21401
 CRAIG BRUNKENHOEFER
 CRAIG.BRUNKENHOEFER@SMARTLINKGROUP.COM
 (503) 505-0272
TOWER OWNER:
 VERTICAL BRIDGE
 750 PARK OF COMMERCE DR., STE 200
 BOCA RATON, FL 33487
 PAUL DANNEBERG
 PAUL.DANNEBERG@VERTICALBRIDGE.COM
 (206) 375-3798
PROJECT ENGINEER:
 TIBBOT ENGINEERING, LLC
 12725 SW MILLIKAN WAY, STE. 300
 BEAVERTON, OR 97005
 PAUL TIBBOT P.E.
 PAUL@TIBBOTENG.COM
 (503) 345-2921
SURVEYOR:
 AMBIT CONSULTING
 1229 CORNWALL AVE., STE. 201
 BELLINGHAM WA 98225
 (480) 659-4072

CODE REFERENCES
CODE INFORMATION:
 ZONING CLASSIFICATION: FOREST (F)
 BUILDING CODE: OSBC 2022
 CONSTRUCTION TYPE: IIB
 OCCUPANCY: U
 JURISDICTION: COOS COUNTY

DRIVING DIRECTIONS
 FROM HWY US-101 SOUTH IN BANDON, OR, CONTINUE STRAIGHT FOR APPROX. 6 MI. TURN RIGHT ONTO CRANBERRY CREEK LN. SITE IS STRAIGHT AHEAD APPROX. 0.4 MI.

PROJECT DESCRIPTION
 APPLICANT PROPOSES THE FOLLOWING: A PROPOSED UNSTAFFED RADIO TELECOMMUNICATIONS FACILITY CONSISTING OF A NEW ANTENNA ARRAY ON A NEW 150' MONOPOLE TOWER, WITH A NEW EQUIPMENT PAD, INSIDE A NEW 50x50' FENCED COMPOUND, A NEW ACCESS AND UTILITY EASEMENT CONTAINING A NEW 12' WIDE DRIVEWAY, AND POWER AND FIBER RUNS, ARE ALSO PROPOSED.

CALL OREGON ONE CALL
 (800) 332-2344
 CALL 3 WORKING DAYS
 BEFORE YOU DIG!

GENERAL NOTES

1. VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO START OF WORK.
2. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE. THIS SET OF DOCUMENTS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ANY REQUIREMENTS DEEMED NECESSARY TO COMPLETE PROJECT AS DESCRIBED IN THE DRAWINGS AND OWNER'S PROJECT MANUAL.
3. PRIOR TO THE SUBMISSION OF BIDS, CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. CONTRACTORS SHALL VISIT THE CONSTRUCTION SITE WITH THE CONSTRUCTION CONTRACT DOCUMENTS TO VERIFY FIELD CONDITIONS AND CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN. PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER VERBALLY AND IN WRITING.
4. OWNER AND THE ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND/OR SPECIFICATIONS SHALL NOT EXCLUDE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE OWNER AND THE ENGINEER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.
5. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
6. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
7. ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
8. CONTRACTOR SHALL PROVIDE, AT THE PROJECT SITE, A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDA OR CLARIFICATIONS FOR USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE STRUCTURAL COMPONENTS OF ADJACENT CONSTRUCTION OR FACILITIES ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE. ENSURE THAT EXCAVATION DOES NOT AFFECT ADJACENT STRUCTURES.
10. SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THIS FACILITY AND/OR PROJECT SITE.
11. CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.
12. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
13. CONTRACTOR SHALL KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. CONTRACTOR SHALL REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
14. THE CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
15. THE CONTRACTOR SHALL PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
16. THE CONTRACTOR SHALL PROVIDE OWNER PROPER INSURANCE CERTIFICATES NAMING OWNER AS ADDITIONAL INSURED, AND OWNER PROOF OF LICENSE(S) AND PE AND PD INSURANCE.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS.
18. VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY OWNER AND ONE-CALL 811-CALL BEFORE YOU DIG. THAT BURIED UTILITIES EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT BE COMPLETE. CONTACT THE ONE-CALL UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT REGIONAL UTILITY LOCATE SERVICE.
19. CONTRACTOR TO DOCUMENT ALL WORK PERFORMED WITH PHOTOGRAPHS AND SUBMIT TO OWNER, ALONG WITH REDLINED CONSTRUCTION SET.

GENERAL NOTES (CONTINUED)

20. CONTRACTOR TO DOCUMENT ALL CHANGES MADE IN THE FIELD BY MARKING UP (REDLINING) THE APPROVED CONSTRUCTION SET AND SUBMITTING THE REDLINED SET TO OWNER UPON COMPLETION.
21. FOR CO-LOCATION SITES, CONTACT TOWER OWNER REPRESENTATIVE FOR PARTICIPATION IN BID WORK.
22. CONTRACTOR IS TO COORDINATE ALL POWER INSTALLATION WITH POWER COMPANY AS REQUIRED. CONTRACTOR TO CARRY POWER INSTALLATION COORDINATION SOLUTION(S) TO NETWORK CARRIER REPRESENTATIVE, PROJECT CONSTRUCTION MANAGER AND ENGINEER.
23. ANY SUBSTITUTIONS OF MATERIALS AND/OR EQUIPMENT, MUST BE APPROVED BY OWNER.
24. WHERE ANCHORING TO A CONCRETE ROOF SLAB, CONTRACTOR SHALL CONFIRM (PRIOR TO SUBMITTING BID) WITH CONSULTING CONSTRUCTION COORDINATOR AND ENGINEER THE PRESENCE OF POST TENSION TENDONS. CONTRACTOR SHALL INCLUDE PROVISIONS FOR X-RAY PROCEDURES TO LOCATE THE TENDONS.
25. CONTRACTOR SHALL USE STAINLESS STEEL METAL LOCKING TIES FOR ALL CABLE TRAY TIE DOWNS AND ALL OTHER GENERAL TIE DOWNS (WHERE APPLICABLE). PLASTIC ZIP TIES SHALL NOT BE PERMITTED FOR USE ON PROJECTS.
26. MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOPE AND CONSTRUCT BARRIERS IN THE AREA OF WORK TO PREVENT DAMAGE FROM WEATHER AND CONSTRUCTION DUST AND DEBRIS.
27. STRUCTURAL DRAWINGS AND REPORTS TAKE PRECEDENCE OVER CONSTRUCTION DRAWINGS. NOTIFY ENGINEER OF DISCREPANCIES.

SITE NOTES:

1. CLEAR AND GRUB SITE OF ALL VEGETATION, PAVING, GRAVEL BASE AND OTHER DEBRIS NOT TO REMAIN. SUBGRADES ARE TO BE SET PRIOR TO LANDSCAPE INSTALLATION.
2. ELEVATION OF SUBGRADE TO BE WITHIN 0.10 FOOT OF ELEVATIONS SHOWN ON PLAN MINUS DEPTH OF TOPSOIL, FILL, AND MULCH.
3. ALL AREAS SHALL BE ROUGH GRADED WITHIN FOOT OF ELEVATIONS INDICATED BEFORE PLANTING. ALL GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM EQUIPMENT SLABS, BUILDINGS AND THROUGH ALL PLANTER AREAS TO AVOID LOW SPOTS AND STANDING WATER.
4. NEW GRADES SHALL BLEND NATURALLY INTO EXISTING GRADES.
5. IN LANDSCAPE AREAS, FINISH GRADES ARE TO FOLLOW THE GRADES AND EDGE DETAILS INDICATED AND BE MOUNDDED 8 INCHES IN THE CENTER OF THE BED ABOVE THE EDGE OF THE LANDSCAPE AREA.
6. NOTIFY OWNER AND THE ENGINEER IF MODIFICATIONS TO THE SHOWN GRADING SEEM NECESSARY AND OBTAIN APPROVAL PRIOR TO START OF WORK.
7. FOOTINGS SHALL BEAR ON FIRM, NATURAL UNDISTURBED SOIL, OR ON ENGINEERED FILL (COMPACTED TO 95%). ENSURE THAT EXCAVATIONS ARE FREE OF ORGANIC MATERIAL, DEBRIS, OR OTHER FOREIGN MATERIAL. NOTIFY ARCHITECT IF ANY UNUSUAL CONDITIONS ARE ENCOUNTERED.
8. FILL AND SLAB BASE MATERIAL SHALL BE 3/4" MINUS CRUSHED ROCK PLACED IN 8" (MAXIMUM) LOOSE LIFTS AND COMPACTED TO 96% ASTM D1557 OR AASHTO T-180.
9. SPECIAL INSPECTION SHALL BE PERFORMED AS REQUIRED BY THE 2022 OSSC, 2021 IBC, OR CURRENTLY ADOPTED STATE SPECIFIC BUILDING CODE, SECTION 1705 BY AN INDEPENDENT SPECIAL INSPECTOR APPROVED BY THE LOCAL JURISDICTION.

SPECIAL INSPECTIONS:

1. CONTRACTOR SHALL PROVIDE REQUIRED SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR, APPROVED BY OWNER AND THE LOCAL JURISDICTION.
2. THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER, CIVIL ENGINEER, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.

CONCRETE NOTES:

1. ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI-318.
2. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH CHAPTER 19 OF THE 2022 OSSC, 2021 IBC, OR CURRENTLY ADOPTED STATE SPECIFIC BUILDING CODE. CEMENT SHALL BE ASTM C150. PORTLAND CEMENT TYPE I U.S.X.O.
3. THE GENERAL CONTRACTOR SHALL SUPERVISE AND BE RESPONSIBLE FOR THE METHODS AND PROCEDURES OF CONCRETE PLACEMENT.
4. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C226, C494, C818, C898 AND C1017. CONCRETE EXPOSED TO FREEZING AND THAWING WHILE MOIST SHALL BE AIR ENTRAINED IN ACCORDANCE WITH ACI 318, SECTION 4.4.1.
5. REINFORCING PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE CONSULTANT.

CONCRETE NOTES (CONTINUED)

6. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 318 AND 318. LAP ALL CONTINUOUS REINFORCEMENT AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-0". PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-0". LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
7. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
8. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, 1/4"-60,000 PSI.
9. REINFORCING PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE CONSULTANT.
10. CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
FOOTINGS AND OTHER UNIFORMED SURFACES, EARTH FACE: 3"
FORMED SURFACES EXPOSED (1# BARS): 2"
TO EARTH OR WEATHER (1# BARS): 1 1/2"
SLABS AND WALLS (INTERIOR FACE): 1/2"
11. BARS SHALL BE SUPPORTED ON CHAIRS OR DOBBE BRICKS.
12. ANCHOR BOLTS TO CONFORM TO ASTM A307.
13. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3,000 PSI MINIMUM).
14. ALL EXPANSION ANCHORS TO BE HILTI BRAND. ADHESIVE ANCHORS REQUIRE TESTING TO CONFIRM CAPACITY UNLESS WAIVED BY ENGINEER AND LOCAL JURISDICTION.

STRUCTURAL STEEL NOTES:

1. SHOP DRAWINGS FOR STRUCTURAL STEEL SHALL BE SUBMITTED TO OWNER AND THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.
2. STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION (INCLUDING FIELD WELDING, HIGH STRENGTH FIELD BOLTING, EXPANSION BOLTS, AND THREADED EXPANSION ANCHORS) SHALL BE BASED ON THE A.I.S.C. "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION. SUPERVISION SHALL BE IN ACCORDANCE WITH 2022 OSSC, 2021 IBC, OR CURRENTLY ADOPTED STATE SPECIFIC BUILDING CODE, CHAPTER 22, BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE CONSULTANT. THE CONSULTANT SHALL BE FURNISHED WITH A COPY OF ALL INSPECTION REPORTS AND TEST RESULTS.
3. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
TYPE OF MEMBER
A. WIDE FLANGE SHAPES ASTM A992, GRADE 50
B. SHAPES, PLATES, ANGLES, & ROOF ASTM A36, Fy 36 KSI
C. SPECIAL SHAPES AND PLATES ASTM A572, Fy 50 KSI
D. PIPE COLUMNS ASTM A53, Fy 35 KSI
E. STRUCTURAL TUBING ASTM A500, Fy 48 KSI
F. ANCHOR BOLTS ASTM A307
G. CONNECTION BOLTS ASTM A325 TWIST-OFF
4. HOT DIP GALVANIZE AFTER FABRICATION PER A123/A123M-00 ALL STEEL EXPOSED TO WEATHER AND WHERE NOTED.
5. ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND AWS STANDARDS AND SHALL BE PERFORMED BY ANSII/AWS D1.1 CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PRE-QUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING E70 XX ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS.
6. COLD-FORMED STEEL FRAMING MEMBERS SHALL BE OF THE SHAPE, SIZE, AND GAGE SHOWN ON THE PLANS. PROVIDE MINIMUM SECTION PROPERTIES INDICATED. ALL COLD-FORMED STEEL FRAMING SHALL CONFORM TO THE A.I.S.C. "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS."
7. BOLTED CONNECTIONS SHALL USE BEARING TYPE ASTM A325 BOLTS (3/4" DIA.) AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
8. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A307 BOLTS UNLESS NOTED OTHERWISE.
9. (UNLESS NOTED OTHERWISE), PREPARATION AND PAINTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATION AND IN ACCORDANCE WITH THE PAINT MANUFACTURER'S WRITTEN INSTRUCTIONS.
10. ALL WELDS TO BE 1/4" FILLET UNLESS NOTED OTHERWISE.
11. TOUCH UP ALL FIELD DRILLING, WELDING AND CUT SURFACES WITH 2 COATS OF GALVALACON (ZINC RICH PAINT) OR APPROVED EQUAL.

SAFETY PROCEDURES



FALL PROTECTION METHODS TO BE PER FEDERAL, STATE, LOCAL, OSHA, AND OWNER REQUIREMENTS.

TOWER/POLE NOTES:

1. VERIFICATION THAT THE EXISTING TOWER/POLE CAN SUPPORT THE PROPOSED ANTENNA LOADING IS TO BE DONE BY OTHERS.
2. PROVIDE SUPPORTS FOR THE ANTENNA COAX CABLES TO THE ELEVATION OF ALL INITIAL AND FUTURE ANTENNAS. ANTENNA COAX CABLES ARE TO BE SUPPORTED AND RESTRAINED AT THE CENTERS SUITABLE TO THE MANUFACTURER'S REQUIREMENTS.

SYMBOLS AND ABBREVIATIONS

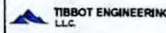
AC	AIR CONDITIONING	MAX	MAXIMUM
AGL	ABOVE GROUND LEVEL	MECH	MECHANICAL
APRX	APPROXIMATELY	MTL	METAL
AW5	ADVANCED WIRELESS SERVICE	MFR	MANUFACTURE
BBU	BATTERY BACKUP UNIT	MGR	MANAGER
BLDG	BUILDING	MIN	MINIMUM
BLK	BLOCKING	MISC	MISCELLANEOUS
CLG	CEILING	NA	NOT APPLICABLE
CLR	CLEAR	NIC	NOT IN CONTRACT
CONC	CONCRETE	NTS	NOT TO SCALE
CONST	CONSTRUCTION	OC	ON CENTER
CONT	CONTINUOUS	OD	OUTSIDE DIAMETER
DBL	DOUBLE	PCS	PERSONAL COMMUNICATION SERVICE
Ø	DIAMETER	PDU	POWER DISTRIBUTION UNIT
DWG	DIAGONAL	PLYWD	PLYWOOD
DN	DOWN	PROJ	PROJECT
DET	DETAIL	PROP	PROPERTY
DWG	DRAWING	PT	PRESSURE TREATED
EA	EACH	REQ	REQUIRED
ELEV	ELEVATION	RF	RADIO FREQUENCY
ELEC	ELECTRICAL	RM	ROOM
EQ	EQUAL	RO	ROUGH OPENING
EQUIP	EQUIPMENT	RRH	REMOTE RADIO HEAD
EXT	EXTERIOR	SHT	SHEET
FIN	FIBER INTERFACE FRAME	SH	SIMILAR
FIN	FINISH	SPEC	SPECIFICATION
FLR	FLOOR	SF	SQUARE FOOT
FT	FOOT	SS	STAINLESS STEEL
GA	GALVE	STL	STEEL
GALV	GALVANIZED	STRUC	STRUCTURAL
GC	GENERAL CONTRACTOR	STD	STUD
GRND	GROUND	SUSP	SUSPENDED
GSM	GLOBAL SYSTEM MOBILE	THRU	THROUGH
GYP	GYPSONUM BOARD	TMA	TOWER MOUNTED AMPLIFIER
HORIZ	HORIZONTAL	TND	TINNED
HR	HOUR	TYP	TYPICAL
HT	HEIGHT	UMTS	UNIVERSAL MOBILE TELECOMMUNICATION SERVICE
ID	INSIDE DIAMETER	VERT	VERTICAL
IN	INCH	W	WITH
INFO	INFORMATION	WO	WITHOUT
INSUL	INSULATION	WCS	WIRELESS COMMUNICATION SERVICE
INT	INTERIOR	WP	WATER PROOF
LBS	POUNDS		
LTE	LONG TERM EVOLUTION		


PROJECT INFO
VERTICAL BRIDGE SITE NUMBER
US-OR-5130

SITE NAME:
MISTY MEADOWS

87432 CRANBERRY CREEK LN.
BANDON, OR 97411
COOS COUNTY

PLANS PREPARED BY:

TIBBOT ENGINEERING LLC

12725 SE MILLIKAN WAY, STE 300
BEAVERTON, OR 97005
503-345-2921

STAMP:


PROJECT #
23-0041

ISSUED FOR:
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REV	DATE	DESCRIPTION	BY
A	4/9/24	PRELIM CDS	-
0	6/25/24	FINAL CDS	-
1	8/1/24	FIBER UCR	-

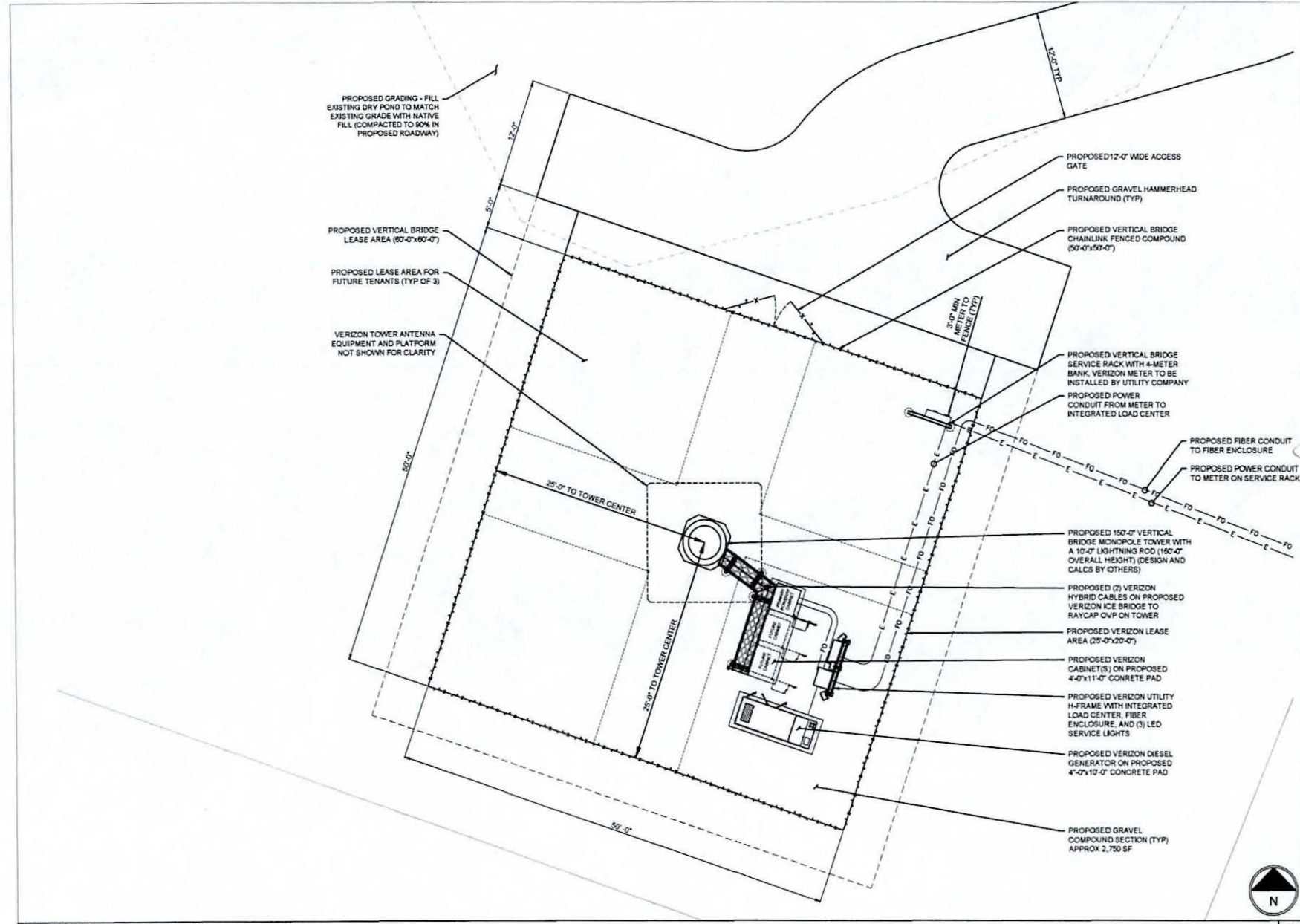
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8/1/24

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SHEET TITLE:
GENERAL NOTES

SHEET NUMBER: **GN-1** REV: **1**

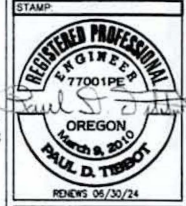




PROJECT INFO:
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 SITE NAME:
MISTY MEADOWS
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 BANDON, OR 97411
 COOS COUNTY

PLANS PREPARED BY:

TIBBOT ENGINEERING L.L.C.
 12725 SE MILLIKAN WAY, STE 300
 BEAVERTON, OR 97005
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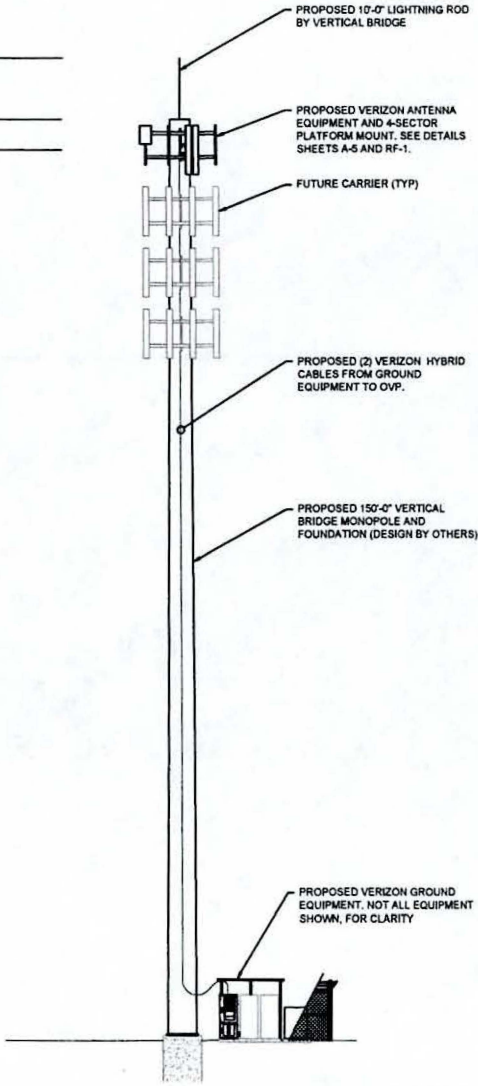
SHEET TITLE:
SITE PLAN

SHEET NUMBER: REV.
A-2 1

22"x34" SCALE: 1"=10'
 11"x17" SCALE: 1"=10'

PROPOSED SITE PLAN 1

- PROPOSED LIGHTNING ROD TIP HEIGHT
160'-0"
- PROPOSED TOP OF TOWER
150'-0"
- PROPOSED ANTENNA RAD CENTER
149'-0" / 147'-9.6"



NOTES:
 1. STRUCTURAL AND MOUNT ANALYSIS PER TIA-222-H TO BE COMPLETED AND PASSING PRIOR TO CONSTRUCTION.
 2. ANTENNA SECTOR IS SHOWN FRONT FACING FOR CLARITY, AND MAY BE SKEWED IN REAL LIFE. CONFIRM DESIGN WITH RFDS AND RF-1.
 3. TOWER TO REMAIN A GALVANIZED COLOR OR AS DIRECTED BY JURISDICTION

GROUND LEVEL
0'-0"

22x34" SCALE: 1"=10'
 11x17" SCALE: 1"=20'



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 COOS COUNTY

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 12725 SE MILLIKAN WAY, STE 300
 BEAVERTON, OR 97005
 503-345-2921

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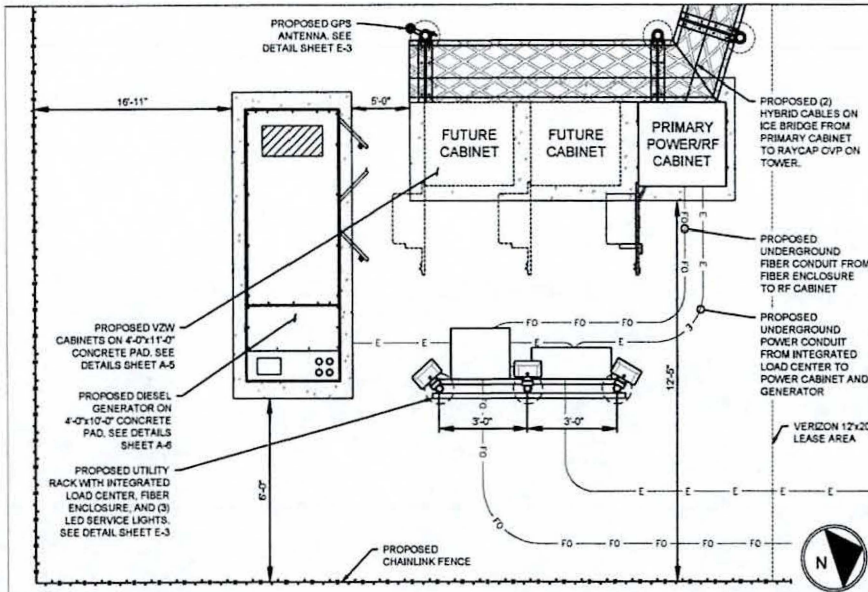
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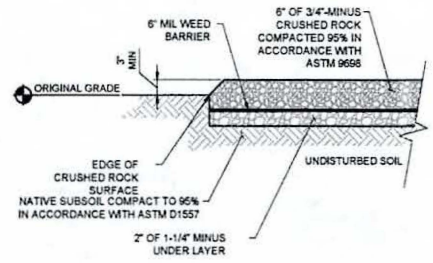
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SHEET TITLE:
ELEVATIONS

SHEET NUMBER REV.
A-3 **1**



NOTE:
 1. CONTRACTOR SHALL STRIP SUPERFICIAL SOFT WET ORGANIC OR DELETERIOUS SOILS TO EXPOSE FIRM AND UNYIELDING SOIL (MIN 6"). IF STRIPPING IS REQUIRED DEEPER THAN 6", CONTRACTOR SHALL CONTACT THE SITE CONSTRUCTION MANAGER TO DETERMINE THE APPROPRIATE STRIPPING DEPTH AT THE TIME OF CONSTRUCTION.

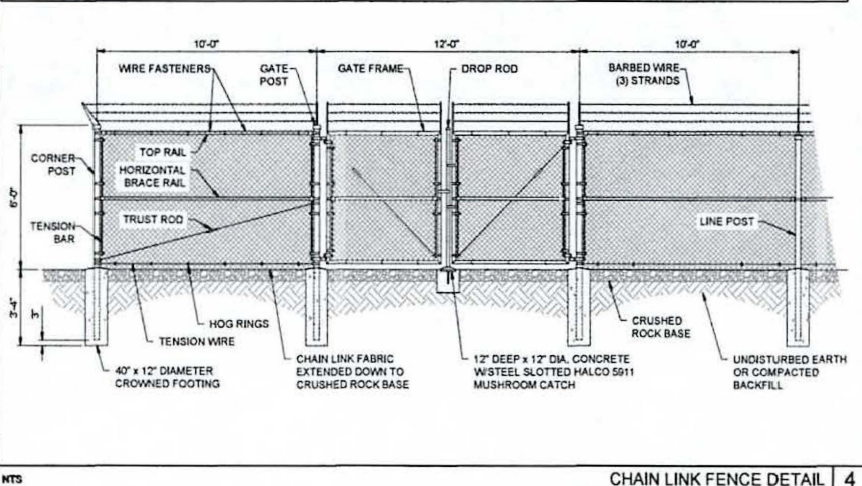
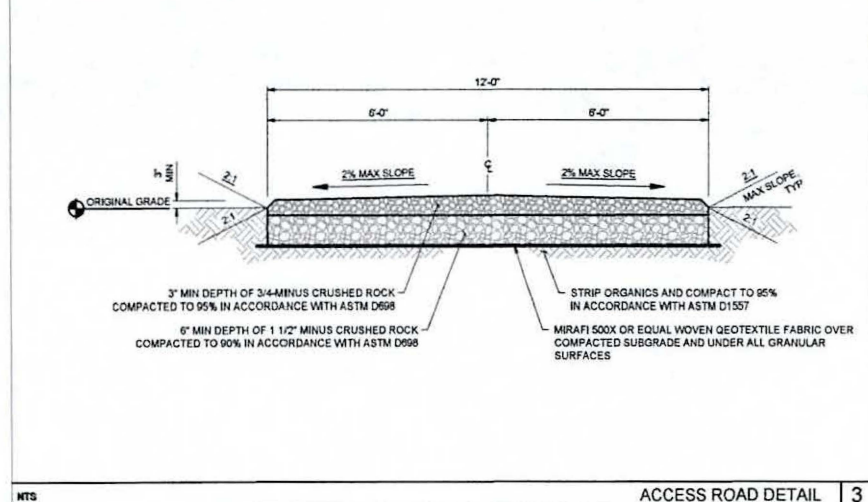


22'x34" SCALE: 1"=2'
 11'x17" SCALE: 1"=4'
PROPOSED EQUIPMENT LAYOUT 1

COMPOUND SECTION DETAIL 2

NOTES:
 1. CONTRACTOR SHALL STRIP SUPERFICIAL SOFT WET ORGANIC OR DELETERIOUS SOILS TO EXPOSE FIRM AND UNYIELDING SOIL (MIN 6").
 2. IF STRIPPING IS REQUIRED DEEPER THAN 6", CONTRACTOR SHALL CONTACT THE SITE CONSTRUCTION MANAGER TO DETERMINE THE APPROPRIATE STRIPPING DEPTH AT THE TIME OF CONSTRUCTION.

NOTES:
 1. ALL ITEMS TO CONFORM TO ASTM F1063 FOR HOT DIPPED GALV. FENCING, ASTM F800 FOR GATES, ASTM A392-89 FOR FENCE FABRIC CLASS 2 GALV. AND ASTM A121-86 CLASS 3 FOR BARBED WIRE.
 2. ALL PIPE TO BE SCHEDULE 40 UNLESS NOTED OTHERWISE
 3. ALL ITEM TO BE GALVANIZED PER ASTM F1089
 4. HOG RINGS AND WIRE FASTENERS TO BE SPACED NO MORE THAN 20" OC HORIZONTALLY AT 12" OC VERTICALLY
 5. BOTTOM TENSION WIRE TO BE NO MORE THAN 4" ABOVE GRADE
 6. PROVIDE STRETCHER BAR AND TENSION BANDS AT ALL GATES, GATE POSTS AND CORNER POSTS
 7. PROVIDE 1.75" INSIDE DIAMETER, 17 GAGE GALVANIZED TUBE FOR TOP RAIL SPLICE WHERE REQUIRED
 8. PROVIDE TURNBUCKLE OR TIGHTENER AT ALL TRUSS ROGS AND TENSION WIRES
 9. A FROST FREE GATE LATCH WITH CHAIN AND PADLOCK MAY BE USED INSTEAD OF A DROP ROD UPON APPROVAL FROM THE C.M.



ACCESS ROAD DETAIL 3

CHAIN LINK FENCE DETAIL 4

verticalbridge

verizon

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 Bandon, OR 97411
 COOS COUNTY

PLANS PREPARED BY:
TIBBOT ENGINEERING LLC
 12725 SE MILLIKAN WAY, STE 300
 BEAVERTON, OR 97005
 503-345-2921

STAMP:

RENEWED 08/30/24

PROJECT #
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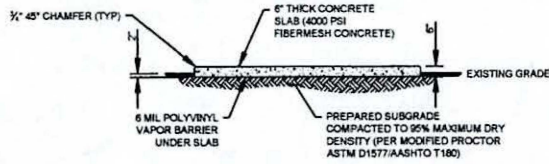
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SHEET TITLE:
DETAILS

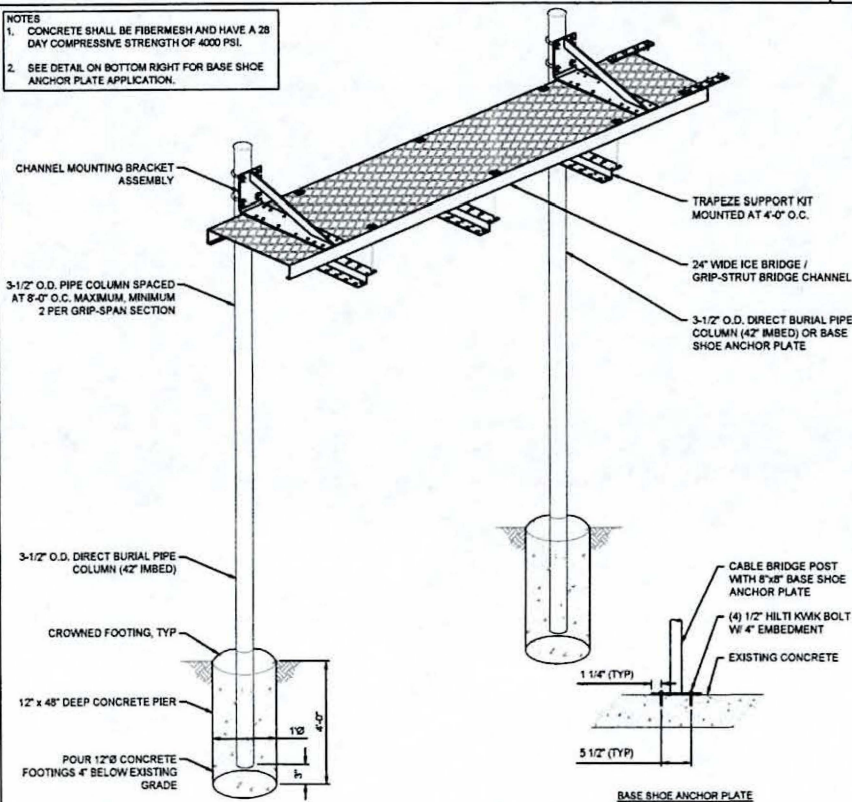
SHEET NUMBER: **A-4** REV: **1**

NOTE:
1. 4" MIN DISTANCE NEEDED FROM CONCRETE EDGES BEFORE DRILLING ANCHORS TO SUPPORT CABINETS OR ICE PROTECTION



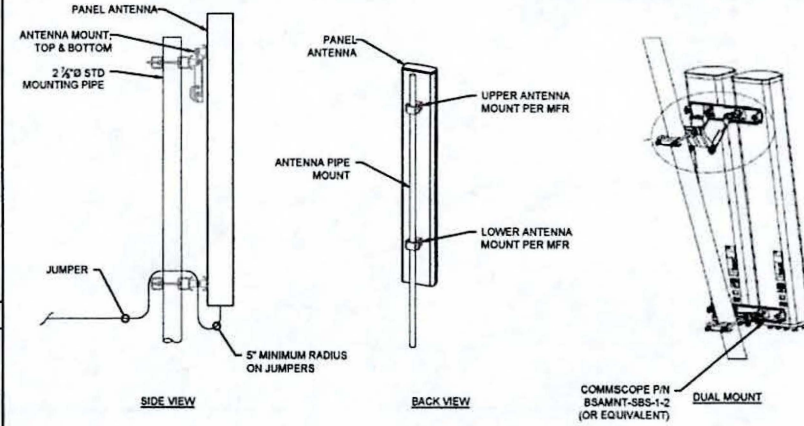
TYPICAL CONC. PAD SECTION 1

NOTES
1. CONCRETE SHALL BE FIBERMESH AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
2. SEE DETAIL ON BOTTOM RIGHT FOR BASE SHOE ANCHOR PLATE APPLICATION.



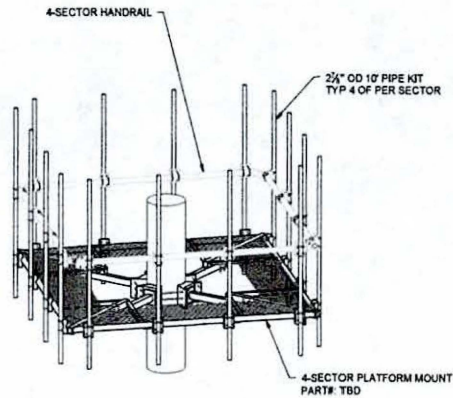
ICE BRIDGE DETAIL 3

NOTES:
1. EXACT PART NO. AND SPECIFICATIONS TO BE DETERMINED BY VERIZON CM.
2. STRUCTURAL AND MOUNT ANALYSIS PER TIA-222-H TO BE COMPLETED AND PASSING PRIOR TO CONSTRUCTION



ANTENNA PIPE MOUNT 2

NOTES:
1. EXACT PART NO. AND SPECIFICATIONS TO BE DETERMINED BY VERIZON CM.
2. STRUCTURAL AND MOUNT ANALYSIS PER TIA-222-H TO BE COMPLETED AND PASSING PRIOR TO CONSTRUCTION



4-SECTOR PLATFORM MOUNT 4



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BANDON, OR 97411
COOS COUNTY

PLANS PREPARED BY:
 TIBBOT ENGINEERING LLC
12725 SE MILLIKAN WAY, STE 300
BEAVERTON, OR 97005
503-345-2921



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SHEET TITLE:
DETAILS

SHEET NUMBER: **A-5** REV: **1**

**SPECIAL RF SIGNAGE GUIDELINES
CUSTOM SIGNAGE FOR SPECIAL SITUATIONS**

WHEN THE PRIMARY MEANS OF ADMINISTRATIVE CONTROLS (I.E. BARRIERS) CANNOT BE FEASIBLY INSTALLED, THERE ARE A LIMITED NUMBER OF OPTIONS AVAILABLE FOR EMPLOYEES TO UTILIZE OUTSIDE OF USING ENGINEERING CONTROLS (I.E. DESIGN, POWER DOWN) TO CONTROL EXPOSURE TO RF EMISSIONS. PLEASE CONTACT THE RF COMPLIANCE GROUP (VZWRFFCompliance@verizonwireless.com) IF YOU FEEL ONE OF THESE SIGNS IS NEEDED.

IF THE GENERAL PUBLIC HAS TO STAND BACK LESS THAN 15 FEET, THEN THE FOLLOWING "STAY BACK" DESIGN MAY BE USED WITH THE STANDARD SIZE SIGNS (NOTE: THIS EXAMPLE IS FOR A CAUTION SIGN, PLEASE USE CORRECT RF HAZARD SIGNAGE TYPE, NOTICE, WARNING, OR CAUTION). THE APPROPRIATE NUMBER OF FEET TO STAND BACK IS REQUIRED ON THE SIGN WHEN CREATED.

IF A PERSON HAS TO STAND BACK MORE THAN 15 FEET; DUE TO THE FONT SIZE REQUIRED, THE STANDARD SIZE SIGN CANNOT BE USED. IF THE LARGER SIZE CANNOT BE PLACED, ENGINEERING CONTROLS SHOULD BE USED TO REDUCE THE STAND BACK DISTANCE SO A COMPLIANT SIGN (PROPERLY SIZED) CAN BE PLACED.



STAY BACK SIGN DETAIL
NOT TO SCALE

STAY BACK SIGNAGE FONT SIZE

THE FONT SIZE FOR THE MESSAGE "STAY BACK FEET" MUST REFLECT THE DESIRED MINIMUM SAFE VIEWING DISTANCE FOR FAVORABLE READING CONDITIONS. STANDARD: MINIMUM FONT SIZES & SAFE VIEWING DISTANCES (SOURCE: ANSI Z535.2-2011)

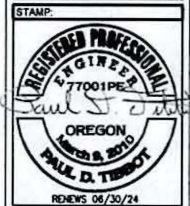
EXAMPLES OF WORD MESSAGE LETTER HEIGHTS AND MINIMUM SAFE VIEWING DISTANCES				
MINIMUM SAFE VIEWING DISTANCE		MINIMUM LETTER HEIGHTS FOR FAVORABLE READING CONDITIONS		
(ft)	(m)	(point size)	(in)	(cm)
≤4	≤1.2	16*	0.16*	0.4*
6	1.80	24	0.24	0.6
8	2.40	32	0.32	0.8
10	3.00	40	0.40	1.0
15	4.60	60	0.60	1.5
20	6.10	80	0.80	2.0
30	9.10	120	1.20	3.0
40	12.20	160	1.60	4.1
60	18.30	240	2.40	6.1
80	24.40	320	3.20	8.1
100	30.50	400	4.00	10.2
125	38.10	500	5.00	12.7
150	45.70	600	6.00	15.2
200	61.00	800	8.00	20.3

*THE MINIMUM SAFE VIEWING DISTANCE REFERS TO THE CLOSEST DISTANCE A PERSON CAN BE TO THE SIGN AND STILL HAVE TIME TO FOLLOW THE SAFETY SIGN'S MESSAGE TO AVOID THE HAZARD.
*16 POINT (.16 IN, 0.4 CM) TYPE IS THE SUGGESTED MINIMUM TYPE SIZE FOR USE ON ENVIRONMENTAL AND FACILITY SAFETY SIGNS.
*8 POINT (.08 IN, 2.0 MM) TYPE IS THE SUGGESTED MINIMUM TYPE SIZE FOR USE ON PRODUCT SAFETY SIGNS, EXCEPT FOR SMALL PRODUCTS WHERE 6 POINT (.06 IN, 1.5 MM) TYPE SIZE MAY BE USED.



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VERTICAL BRIDGE SITE NUMBER
US-OR-5130
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COOS COUNTY

PLANS PREPARED BY:
 TIBBOT ENGINEERING LLC
12725 SE MILLIKAN WAY, STE 300
BEAVERTON, OR 97005
503-345-2921



PROJECT #:
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ISSUED FOR:
REVIEW

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SHEET TITLE:
**SIGNAGE
DETAILS**

SHEET NUMBER: **A-8** REV: **1**

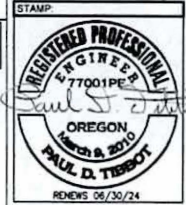
SECTOR	POSITION	(QTY) MANUFACTURER & MODEL	RAD CENTER (AGL)	AZIMUTH	ELECTRONIC DOWNTILT	MECHANICAL DOWNTILT	RRH/ODU MODEL	FEEDER(S)	JUNCTION BOX	JUMPERS
ALPHA (A)	1	-	-	-	-	-	-	(2) 6x12 HYBRIFLEX HYBRID CABLE	(1) RAYCAP 12 OVP (TOWER) / (1) RAYCAP 12 OVP (GROUND)	(9) FIBER / (36) COAX
	2	(2) COMMSCOPE NHH-45C-R2B	145'	0°	2°	0°	ERICSSON 4490 / ERICSSON 4990			
	3	-	-	-	-	-	-			
	4	(1) ERICSSON AIR6419	147.8'	0°	3°	0°	ERICSSON AIR6419_B77D			
BETA (B)	1	-	-	-	-	-	-			
	2	(2) COMMSCOPE NHH-45C-R2B	145'	180°	2°	0°	ERICSSON 4490 / ERICSSON 4990			
	3	-	-	-	-	-	-			
	4	(1) ERICSSON AIR6419	147.8'	180°	3°	0°	ERICSSON AIR6419_B77D			
GAMMA (C)	1	-	-	-	-	-	-			
	2	(2) COMMSCOPE NHH-65C-R2B	145'	270°	2°	0°	ERICSSON 4490 / ERICSSON 4990			
	3	-	-	-	-	-	-			
	4	(1) ERICSSON AIR6419	147.8'	270°	3°	0°	ERICSSON AIR6419_B77D			



PROJECT INFO
 VERTICAL BRIDGE SITE NUMBER
US-OR-5130
 SITE NAME:
MISTY MEADOWS
 87432 CRANBERRY CREEK LN.
 BANDON, OR 97411
 COOS COUNTY

PLANS PREPARED BY:

TIBBOT ENGINEERING LLC
 12725 SE MILLIKAN WAY, STE 300
 BEAVERTON, OR 97005
 503-345-2921



PROJECT #
23-0041

ISSUED FOR:
REVIEW

REV	DATE	DESCRIPTION	BY
A	4/3/24	PRELIM CDS	-
0	6/25/24	FINAL CDS	-
1	8/1/24	FIBER UCR	-

DRAWN BY: -
 CHECKED BY: -

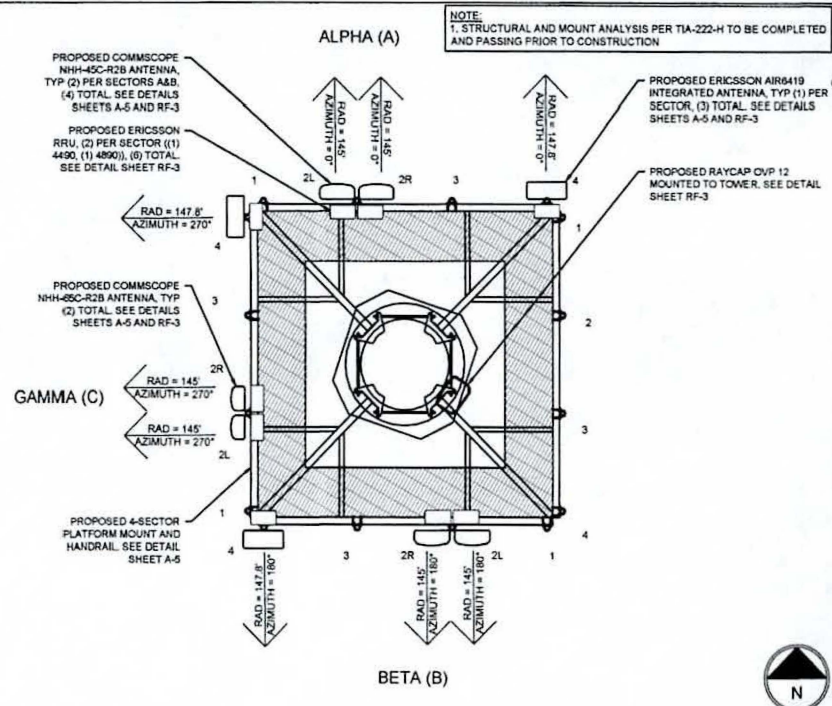
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SHEET TITLE:
ANTENNA PLAN

SHEET NUMBER	REV
RF-1	1

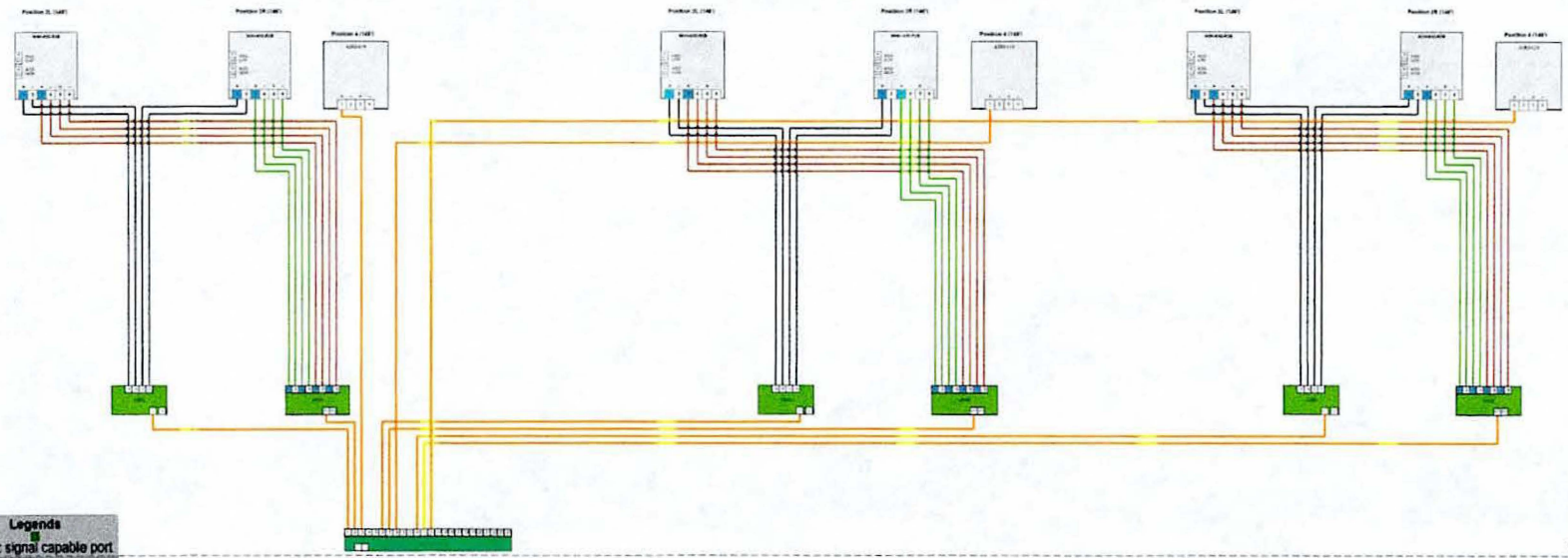
NO EXISTING TOWER



Alpha
(Proposed)

Beta
(Proposed)

Gamma
(Proposed)



Legends

RET dc signal capable port

- 700/850(LB)
- 700(LT)
- 850(CB)
- AWS(AW)
- PCS(PC)
- AWS-PCS(HB)
- 28GHz(U28)
- 39GHz(U39)
- L-Sub(S6)
- CBR(SF5)
- LAA(LA)
- Fiber
- AISG
- DC

Coax
Coax Jumper
Sector Shared Equipments

Proprietary and Confidential. Not for disclosure outside of Verizon.

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MISTY MEADOWS
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COOS COUNTY

PLANS PREPARED BY:
TIBBOT ENGINEERING LLC
12725 SE MILLIKAN WAY, STE 300
BEAVERTON, OR 97005
503-345-2921

STAMP
REGISTERED PROFESSIONAL ENGINEER
777001PE
OREGON
March 8, 2019
PAUL D. TIBBOT
RENEW 08/30/24

PROJECT #:
23-0041

ISSUED FOR:
REVIEW

SUBMITTALS

REV	DATE	DESCRIPTION	BY
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0	8/25/24	FINAL CDS	-
1	8/1/24	FIBER UCR	-

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CHECKED BY: -

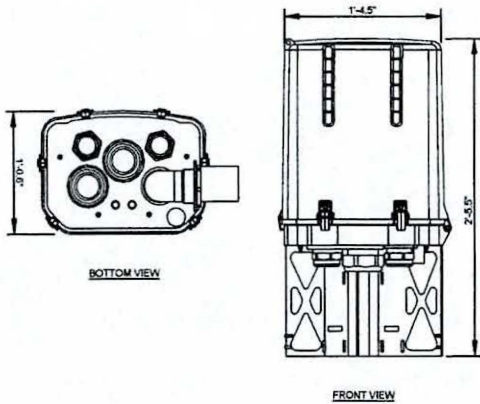
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SHEET TITLE:
PLUMBING DIAGRAM

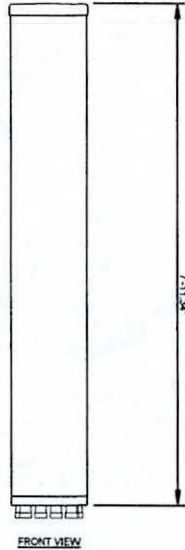
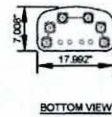
SHEET NUMBER: REV.
RF-2 1

NOTES:
MFR: RAYCAP
MODEL NO.: RCMDC-6627-PF-48
WEIGHT (EXCLUDING MOUNT): 32.0 LBS
CONFIRM ALL MEASUREMENTS WITH MFR.



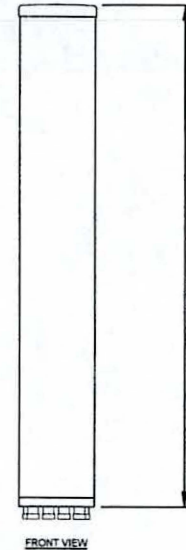
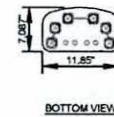
NTS RAYCAP OVP DETAIL 1

NOTES:
MFR: COMMSCOPE
MODEL NO.: NHH-45C-R2B
WEIGHT (EXCLUDING MOUNT): 64.657 LBS
CONFIRM ALL MEASUREMENTS WITH MFR.



NTS COMMSCOPE NHH-45C-R2B ANTENNA DETAIL 2

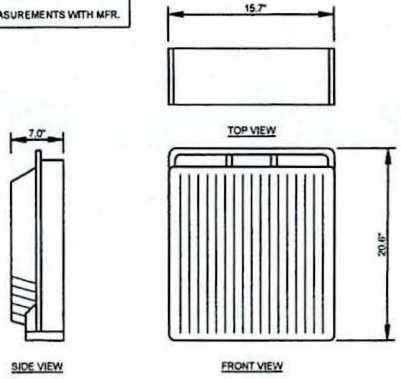
NOTES:
MFR: COMMSCOPE
MODEL NO.: NHH-65C-R2B
WEIGHT (EXCLUDING MOUNT): 61.6 LBS
CONFIRM ALL MEASUREMENTS WITH MFR.



NTS COMMSCOPE NHH-65C-R2B ANTENNA DETAIL 3

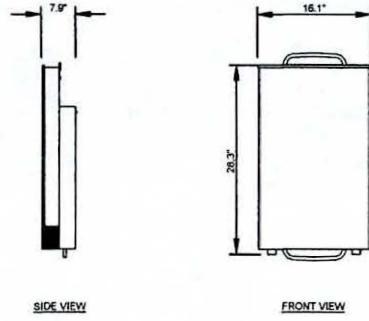
NOTES:
MFR: ERICSSON
MODEL NO.: 4490
WEIGHT (EXCLUDING MOUNT): ~68.4 LBS

MFR: ERICSSON
MODEL NO.: 4890
WEIGHT (EXCLUDING MOUNT): ~69.5 LBS
CONFIRM ALL MEASUREMENTS WITH MFR.



NTS ERICSSON 4490 / 4890 RRU DETAIL 4

NOTES:
MFR: ERICSSON
MODEL NO.: AIR6419
WEIGHT (EXCLUDING MOUNT): 66.1 LBS
CONFIRM ALL MEASUREMENTS WITH MFR.



NTS ERICSSON AIR6419 INTEGRATED ANTENNA DETAIL 5

NTS NOT USED 6

verticalbridge

verizon

PROJECT INFO
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US-OR-5130
SITE NAME:
MISTY MEADOWS
87432 CRANBERRY CREEK LN.
BANDON, OR 97411
COOS COUNTY

PLANS PREPARED BY:
TIBBOT ENGINEERING
LLC
12725 SE MILLIKAN WAY, STE 300
BEAVERTON, OR 97005
503-345-2921

STAMP:
REGISTERED PROFESSIONAL ENGINEER
777001PE
OREGON
March 8, 2010
PAUL D. TIBBOT
RDREV: 05/20/24

PROJECT #:
23-0041

ISSUED FOR:
REVIEW

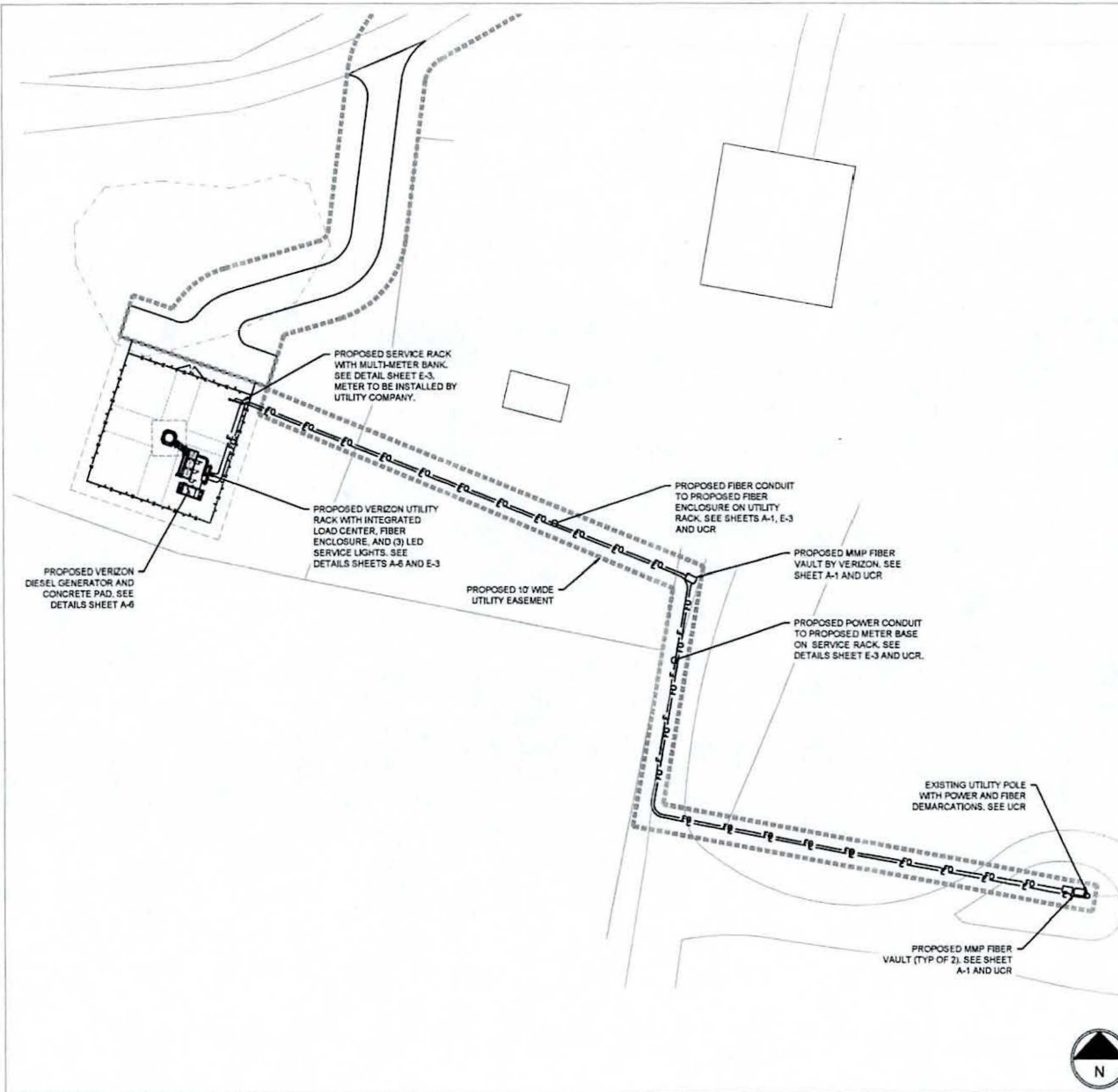
REV	DATE	DESCRIPTION	BY
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CHECKED BY: -
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SHEET TITLE:
RF DETAILS

SHEET NUMBER	REV.
RF-3	1



ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- COMPLY WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, THE REQUIREMENTS OF ALL APPLICABLE MUNICIPAL AND STATE CODES AND REGULATIONS, AND UTILITY GUIDELINES.
- PERFORM ALL VERIFICATION, OBSERVATIONS, TESTING AND EXAMINATION OF WORK PRIOR TO THE ORDERING OF ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE CONSTRUCTION MANAGER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
- UNDERGROUND CONDUIT SHALL BE RIGID POLYVINYL CHLORIDE CONDUIT; TYPE SCHEDULE 40 (OVERHEAD CONDUIT SHALL BE GALVANIZED RIGID CONDUIT-GRC) CONFORMING TO UL ARTICLE 651 - WESTERN PLASTICS OR CARBON MANUFACTURER. COUPLINGS SHALL BE SLIP-ON SOLVENT SEALED T PIPE SOLVENT. WESTERN TYPE COMPATIBLE WITH PVC DUCT. ALL BENDS SHALL BE 30' MINIMUM RADIUS.
- ALL WIRING SHALL BE STRANDED COPPER WITH MINIMUM 600V INSULATION (UNLESS OTHERWISE NOTED).
- NEUTRAL SHALL BE COLOR CODED, INSULATION SHALL BE CROSS-LINKED POLYETHYLENE.
- CONTRACTOR TO CONTACT ALL UTILITIES FOR LOCATION OF UNDERGROUND SERVICES. SERVICE LOCATIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING, FILING, AND FEES IN CONJUNCTION WITH THE PROJECT.
- THE CONTRACTOR SHALL SCHEDULE ALL NECESSARY INSPECTIONS WITH THE PROPER AUTHORITIES AND INFORM VELOCITEL 24-HOURS IN ADVANCE. ALL TICKETS AND INSPECTION VERIFICATIONS WILL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE WITHIN 24-HOURS AFTER THE INSPECTION HAS TAKEN PLACE.
- ALL EQUIPMENT, WIRING, AND MATERIALS MUST HAVE A UL LABEL.
- ALL WORK SHALL BE DONE BY QUALIFIED AND EXPERIENCED JOURNEYMEN AND PERFORMED IN A WORKMANLIKE MANNER AND SHALL PROCEED IN AN ORDERLY MANNER SO AS NOT TO HOLD UP THE PROGRESS OF THE PROJECT.
- THOROUGHLY TEST ALL LINES FEEDERS, EQUIPMENT, AND DEVICES WITH MAXIMUM LOADS TO ASSURE PROPER OPERATION.
- CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES.
- PROVIDE PULL BOXES WHERE SHOWN AND/OR WHERE REQUIRED BY CODES AND/OR UTILITY COMPANIES.
- ALL CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. CONTRACTOR SHALL VERIFY ALL LOCATIONS.
- ALL WIRES SHALL BE TAGGED AT ALL PULL BOXES, J-BOXES, EQUIPMENT BOXES, AND CABINETS WITH APPROVED PLASTIC TAGS.
- ALL BREAKERS IN PANEL BOXES SHALL BE IDENTIFIED WITH TYPE WRITTEN LABELS NEATLY PLACED ALONG SIDE OF THE BREAKER.
- ALL FIRE-RATED WALL AND FLOOR PENETRATIONS ARE TO BE CAULKED AND SEALED WITH A FIRE RESISTANT CAULKING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION.
- UTILIZE SONNEBORN TYPE NP-1 CAULKING FOR SEALING ALL EXTERIOR WALL PENETRATIONS.

verticalbridge

verizon

PROJECT INFO
 VERTICAL BRIDGE SITE NUMBER
US-OR-5130
 SITE NAME:
MISTY MEADOWS
 87432 CRANBERRY CREEK LN.
 Bandon, OR 97411
 0005 COUNTY

PLANS PREPARED BY:

TIBBOT ENGINEERING LLC
 12725 SE MILLIKAN WAY, STE 300
 BEAVERTON, OR 97005
 503-345-2921

STAMP

PROJECT #:
23-0041

ISSUED FOR:
REVIEW

SUBMITTALS

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SHEET TITLE
UTILITY PLAN

SHEET NUMBER	REV
E-1	1

22"x34" SCALE: 1"=20'
 11"x17" SCALE: 1"=40'

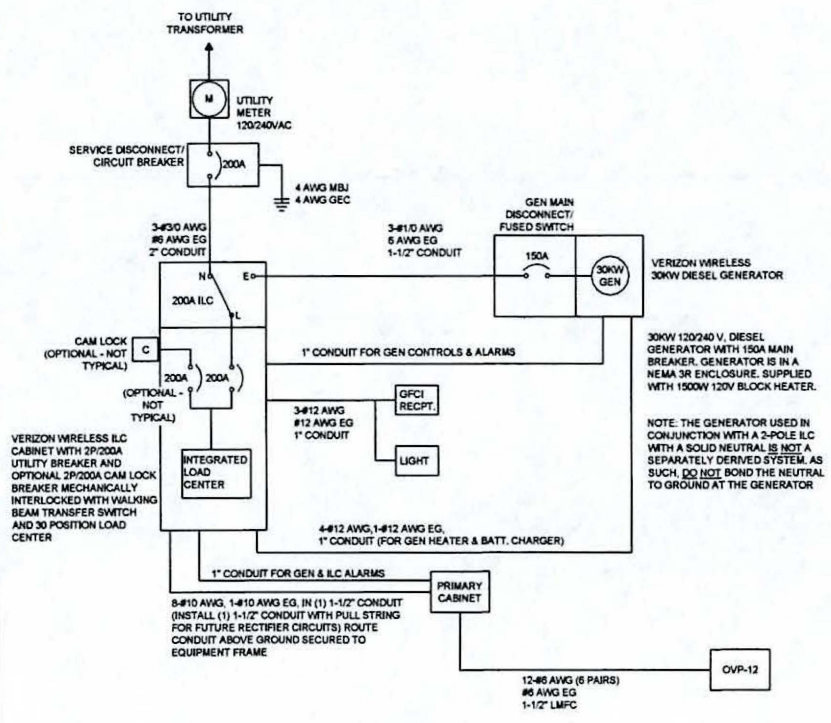
COMMON V2W DC PLANT RECTIFIER REQUIREMENTS			
RECTIFIER	INPUT FLA CURRENT AT 240 VAC (EACH RECTIFIER)	2 RECT / BRANCH CIRCUIT ALTERNATE APPROACH	1 RECT / BRANCH CIRCUIT ALTERNATE APPROACH
VERTV 3500W (R48-2000e3 OR SIM)	15.5 AMPS	40A/2P (OR 45A/2P) # 8 THHN	30A/2P # 10 THHN
GE 75A (NE075AC48xxxx OR SIM)	22 AMPS (MAX.)	60A/2P # 6 THHN	30A/2P # 10 THHN
OTHER - COORD W VENDOR	REFER TO CUT SHEETS	REFER TO CUT SHEETS	REFER TO CUT SHEETS

LOAD CALCULATION	
LOAD	AMPS
PROPOSED LOAD:	123.0
TOTAL DEMAND:	129.0
VOLTAGE: 120/240V SINGLE PHASE 3W 200A	

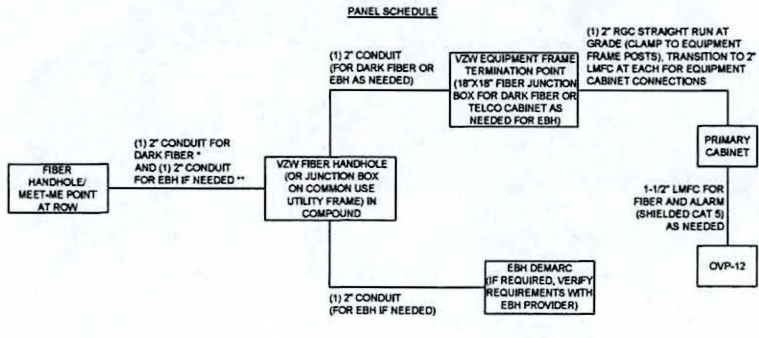
PANEL NAME:		V2W ILC		MODEL NUMBER:		INTERSECT AA300G-1PH-3R							
RATED VOLTAGE:	240	120	VOLTS	PHASE/WIRE:	1	3							
MAIN BREAKER:	200	AMPS		BUS RATING:	200								
MOUNT:	SURFACE			NEUTRAL BAR:	YES		KEY DOOR LATCH: YES						
ENCLOSURE TYPE:	NEMA 3R			AIC:	65K		HINGED DOOR: YES						
POS	USAGE FACTOR	BUS AMPS	LOAD	POLES	AMPS	L1	L2	AMPS	POLES	LOAD	BUS AMPS	USAGE FACTOR	POS
1	1	18										1	2
3	1	18	RECTIFIER	2	30A			30A	2	FUTURE RECTIFIER	18	1	4
5	1	18										1	6
7	1	18	RECTIFIER	2	30A			30A	2	FUTURE RECTIFIER	18	1	8
9	1	18										1	10
11	1	18	RECTIFIER	2	30A			30A	2		18	1	12
13	1	18										1	14
15	1	18	RECTIFIER	2	30A			30A	2		18	1	16
17	1.25	12	GFI RECEPT. LIGHT	1	20A								18
19	1.25	12	BLOCK HEATER	1	20A								20
21	1.25	5	BATT. CHARGER	1	20A								22
23													24
25													26
27													28
29													30
		93.25	87	-SUB TOTAL AMPS						SUB TOTAL AMPS:		36	36
										FACTORED TOTAL AMPS:		129.25	123

- NOTES:
- ALL CONDUCTORS ARE TYPE THHN (75°C) COPPER.
 - MAXIMUM LENGTH OF RUN FOR RECTIFIER CIRCUITS IS 50FT.
 - INTERSECT GENERAC INTEGRATED LOAD CENTER INCLUDES 200 AMP MAIN DISCONNECT AND TRANSFER SWITCH FOR PORTABLE OR PERMANENT GENERATOR.
 - RECTIFIER LOADS ARE CONSIDERED TO BE NON-CONTINUOUS.
 - IF ADDITIONAL FUTURE LOADS ARE ADDED WHICH CAUSE TOTAL DEMAND TO EXCEED GENERATOR BREAKER SIZE, BACKUP POWER SYSTEM SHALL BE EVALUATED AND UPGRADED AS NECESSARY.

NOTE:
PANEL SCHEDULE AND SINGLE LINE DIAGRAM REPRESENT A SITE WITH A NEW GE POWER PLANT, 30 KW DIESEL GENERATOR, AND TWO SOURCE ILC (THREE SOURCE ILC OPTIONAL AS NEEDED). ADJUST AS NECESSARY PER LOCAL SITE CONDITIONS.



- ELECTRICAL SINGLE LINE DIAGRAM
- NOTES:
- ALL EQUIPMENT SHALL BE NEMA 3R RATED.
 - ALL EQUIPMENT SHALL BE LIGHTNING PROTECTED IN ACCORDANCE WITH TIA-222-G AND VERIZON WIRELESS STANDARDS.
 - CONDUCTOR SIZES AND DISTANCES HAVE BEEN SIZED FOR 3% MAX VOLTAGE DROP (TOTAL SYSTEM VOLTAGE DROP ON BOTH FEEDERS AND BRANCH CIRCUITS TO THE FARTHEST DEMAND SHALL NOT EXCEED 5%).
 - WIRE SIZING AND MAXIMUM DISTANCE FROM GENERATOR TO ILC ASSUMES POWER FACTOR OF 0.8.
 - BELOW GRADE CONDUIT SHALL BE SCHEDULE 80 PVC. ABOVE GRADE CONDUIT SHALL BE GALVANIZED RIGID CONDUIT. BELOW GRADE PVC CONDUIT SHALL TRANSITION TO GRC PRIOR TO RISING ABOVE GRADE. ALL BENDS SHALL HAVE A MINIMUM 24" RADIUS. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. VERIFY CONDUIT TYPE WITH LOCAL CONSTRUCTION MANAGER AND ADJUST IF NECESSARY. ALL CONDUIT SHALL MEET NEC, STATE, AND LOCAL CODE REQUIREMENTS AS REQUIRED.



- FIBER SINGLE LINE DIAGRAM
- NOTES:
- ADD (1) ADDITIONAL 2" CONDUIT FOR DARK FIBER (2 TOTAL) IF REQUIRED BY LOCAL MARKET FACILITIES, VERIFY PRIOR TO CONSTRUCTION. (ADD 2 PULL STRINGS TO EACH CONDUIT)
 - VERIFY EBH REQUIREMENTS WITH TELCO PROVIDER PRIOR TO CONSTRUCTION. (ADD 2 PULL STRINGS TO EACH CONDUIT)

verticalbridge

verizon

PROJECT INFO
VERTICAL BRIDGE SITE NUMBER
US-OR-5130
SITE NAME:
MISTY MEADOWS
87432 CRANBERRY CREEK LN.
BANDON, OR 97411
COOS COUNTY

PLANS PREPARED BY:
TIBBOT ENGINEERING
LLC
12725 SE MILLIKAN WAY, STE 300
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503-345-2921

STAMP:
REGISTERED PROFESSIONAL
ENGINEER
77001PE
OREGON
March 8, 2010
PAUL D. TIBBOT
RENEW 08/30/24

PROJECT #
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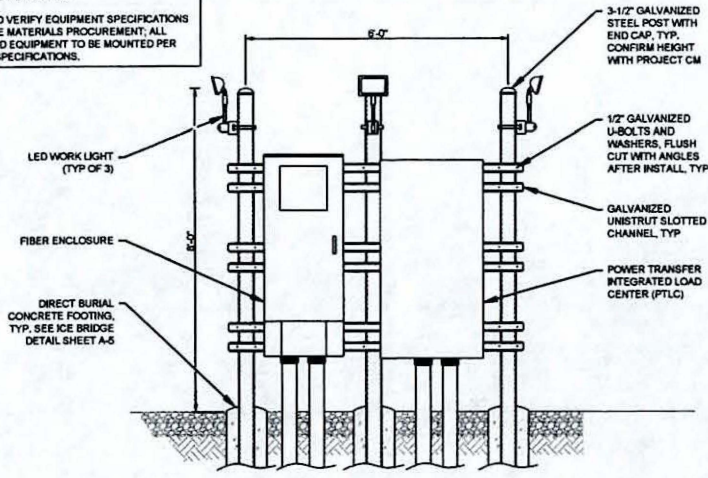
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SHEET TITLE
ONE-LINE AND PANEL SCHEDULE

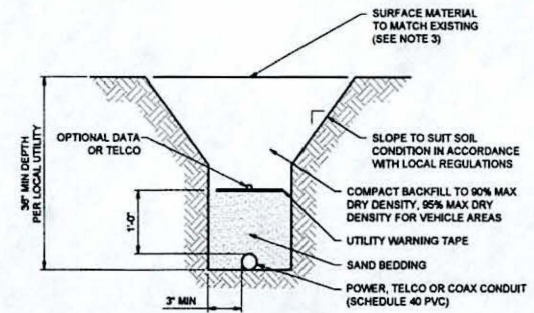
SHEET NUMBER	REV
E-2	1

- NOTES**
1. REFER TO SITE PLANS FOR SERVICE RACK LOCATION.
 2. BOND ALL ELECTRIC EQUIPMENT TO RACK.
 3. EQUIPMENT AND CONDUITS TO BE INSTALLED PER STATE, LOCAL, AND NEC CODES.
 4. CONTRACTOR TO VERIFY EQUIPMENT SPECIFICATIONS PRIOR TO H-FRAME MATERIALS PROCUREMENT; ALL H-FRAME MOUNTED EQUIPMENT TO BE MOUNTED PER MANUFACTURER SPECIFICATIONS.



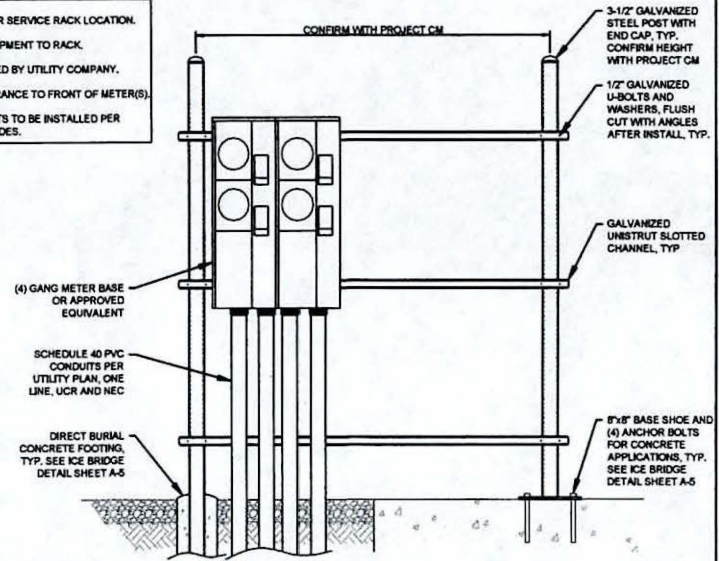
UTILITY H-FRAME RACK DETAIL 1

- NOTES**
1. "ONE CALL" SERVICE SHALL BE CALLED PRIOR TO EXCAVATION.
 2. DETAIL SHOWN IS FOR ONE CONDUIT. MULTIPLE CONDUITS CAN BE PLACED IN THE SAME TRENCH AS LONG AS A MINIMUM SEPARATION PER THE LOCAL UTILITY COMPANIES IS MAINTAINED, IN ALL CASES THE MINIMUM CENTER TO CENTER SPACING BETWEEN CONDUITS IS 1'-0" (NOT REQUIRED FOR COAX).
 3. CONTRACTOR SHALL RESTORE THE TRENCH TO ITS ORIGINAL CONDITIONS BY EITHER SEEDING OR SODDING GRASS AREAS, OR REPLACING ASPHALT OR CONCRETE AREAS TO ITS ORIGINAL CROSS SECTION.
 4. CONTRACTOR TO SHORE VERTICAL EXCAVATIONS ANYTIME CONDITIONS WARRANT TO PROTECT PERSONNEL AND MATERIALS OR AS REQUIRED BY OSHA AND LOCAL REQUIREMENTS.



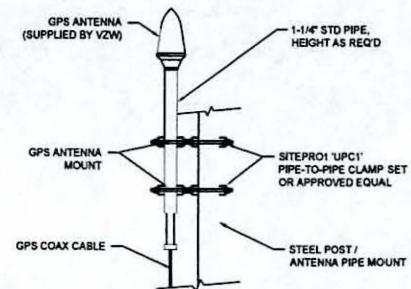
UTILITY TRENCH DETAIL 2

- NOTES**
1. REFER TO SITE PLANS FOR SERVICE RACK LOCATION.
 2. BOND ALL ELECTRIC EQUIPMENT TO RACK.
 3. METER(S) TO BE INSTALLED BY UTILITY COMPANY.
 4. MAINTAIN 3'-0" MIN. CLEARANCE TO FRONT OF METER(S).
 5. EQUIPMENT AND CONDUITS TO BE INSTALLED PER STATE, LOCAL, AND NEC CODES.



SERVICE RACK 4-METER BANK DETAIL 3

- NOTES**
1. REFER TO SITE PLANS FOR SERVICE RACK LOCATION.
 2. BOND ALL ELECTRIC EQUIPMENT TO RACK.
 3. EQUIPMENT AND CONDUITS TO BE INSTALLED PER STATE, LOCAL, AND NEC CODES.
 4. CONTRACTOR TO VERIFY EQUIPMENT SPECIFICATIONS PRIOR TO H-FRAME MATERIALS PROCUREMENT; ALL H-FRAME MOUNTED EQUIPMENT TO BE MOUNTED PER MANUFACTURER SPECIFICATIONS.



GPS ANTENNA MOUNTING DETAIL 4




PROJECT INFO:
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 BASHOH, OR 97111
 0005 COUNTY

PLANS PREPARED BY:

TIBBOT ENGINEERING LLC
 12725 SE MILLIKAN WAY, STE 300
 BEAVERTON, OR 97005
 503-345-2921

STAMP:

 REVISIONS 06/30/24

PROJECT #
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REVIEW

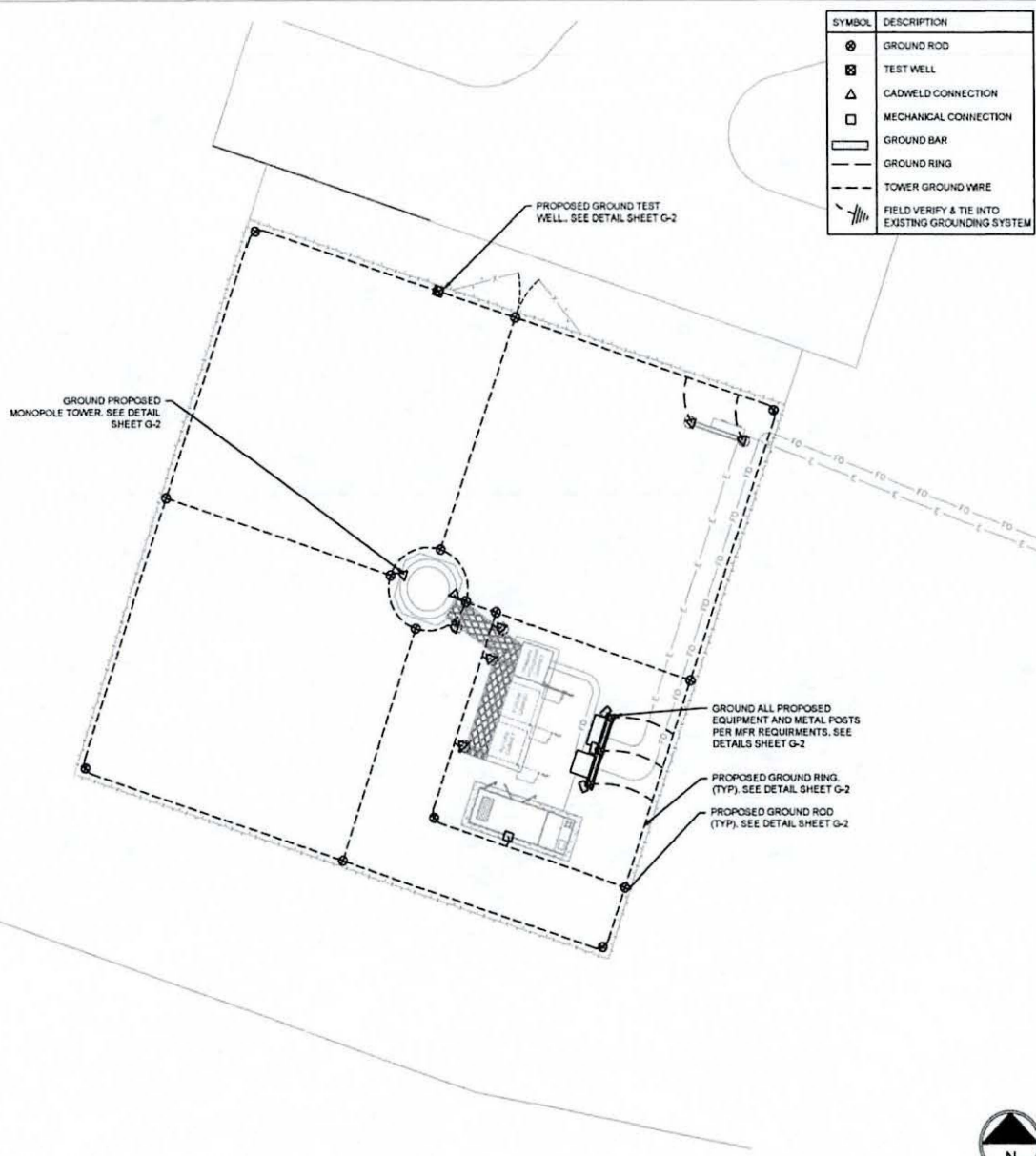
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SHEET TITLE:
ELECTRICAL DETAILS

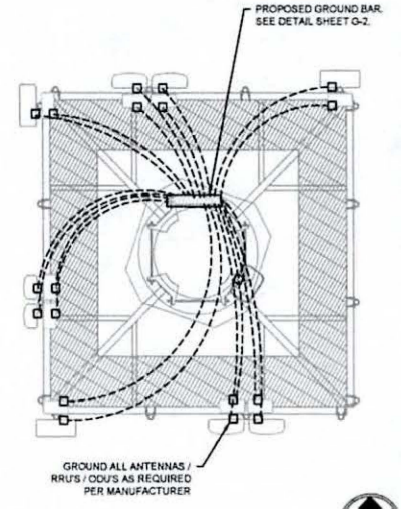
SHEET NUMBER: REV.
E-3 **1**



SYMBOL	DESCRIPTION
⊗	GROUND ROD
⊠	TEST WELL
⊠	CADWELD CONNECTION
□	MECHANICAL CONNECTION
—	GROUND BAR
—	GROUND RING
—	TOWER GROUND WIRE
—	FIELD VERIFY & TIE INTO EXISTING GROUNDING SYSTEM

- GENERAL GROUNDING NOTES:**
- GROUNDING SHALL BE INSTALLED 6" BELOW FROST DEPTH OR 3' BELOW GRADE, WHICHEVER IS GREATER. CONFIRM FROST DEPTH WITH JURISDICTION.
 - ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
 - GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING GROUND WIRES AND CONNECT TO SURFACE MOUNTED BUS BARS. FOLLOW ANTENNA AND BTS MANUFACTURERS PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS AND EXIT FROM TOWER OR POLE USING MFR'S PRACTICES.
 - ALL GROUND CONNECTIONS SHALL BE CADWELDED. ALL WIRES SHALL BE COPPER THIRTIETHW. ALL GROUND WIRE SHALL BE GREEN INSULATED WIRE ABOVE GROUND.
 - CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY AT&T REPRESENTATIVE.
 - REFER TO DIVISION 16 GENERAL ELECTRIC, GENERAL ELECTRICAL PROVISION AND COMPLY WITH ALL REQUIREMENTS OF GROUNDING STANDARDS.
 - ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY AUTHORIZED OWNER REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUNDING SYSTEM. PHOTO DOCUMENT ALL CADWELDS AND GROUND RING
 - NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.

- GROUND ROD NOTES:**
- ELECTRICAL CONTRACTOR SHALL ORDER GROUND RESISTANCE TESTING ONCE THE GROUND SYSTEM HAS BEEN INSTALLED. A QUALIFIED INDIVIDUAL UTILIZING THE FALL OF POTENTIAL METHOD, SHOULD PERFORM THE TEST. THE REPORT WILL SHOW THE LOCATION OF THE TEST AND CONTAIN NO LESS THAN 9 TEST POINTS ALONG THE TESTING LINE, GRAPHED OUT TO SHOW THE PLATEAU.
 - 2 POINT GROUND TEST OR 3 POINT 62% TESTS WILL NOT BE ACCEPTED AS ALTERNATIVES TO THE AFOREMENTIONED GROUND TESTS. TEST SHALL BE PERFORMED WHILE THE COUNTERPOISE IS ISOLATED FROM THE AC SYSTEM GRIDS AND EXISTING COMMUNICATIONS FACILITY.







PROJECT INFO:
 VERTICAL BRIDGE SITE NUMBER
US-OR-5130
 SITE NAME:
MISTY MEADOWS
 87432 CRANBERRY CREEK LN.
 BANDON, OR 97411
 COOS COUNTY

PLANS PREPARED BY:

 TIBBOT ENGINEERING
 LLC.
 12725 SE MILLIKAN WAY, STE 300
 BEAVERTON, OR 97005
 503-345-2921

STAMP:


PROJECT #
 23-0041

ISSUED FOR:
 REVIEW

SUBMITTALS		
REV	DATE	DESCRIPTION
A	4/3/24	PRELIM CDG
0	6/25/24	FINAL CDG
1	8/1/24	FIBER UCR

DRAWN BY: -
CHECKED BY: -
CURRENT ISSUE DATE:
 8/1/24

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE WITHOUT OWNER PERMISSION IS STRICTLY PROHIBITED.

SHEET TITLE:
GROUNDING PLAN

SHEET NUMBER:	REV:
G-1	1

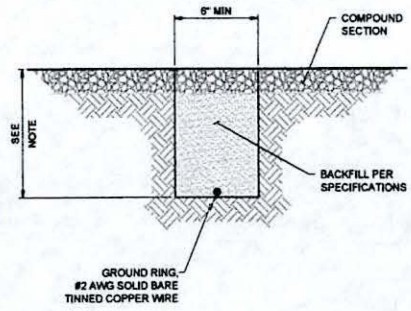
22'x34" SCALE: 1"=6'
 11'x17" SCALE: 1"=10'

GROUNDING PLAN 1

22'x34" SCALE: 1"=2.5'
 11'x17" SCALE: 1"=6'

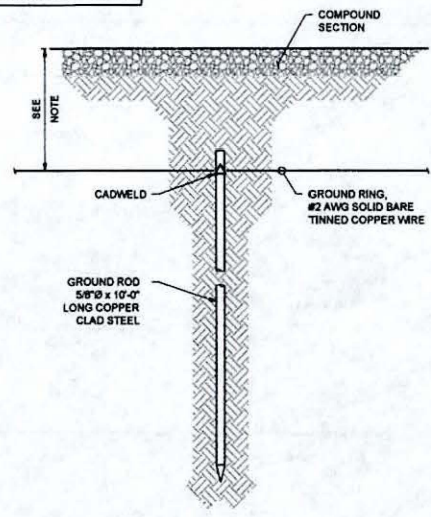
ANTENNA GROUNDING PLAN 2

NOTE:
1. INSTALL GROUNDING 6" BELOW FROST DEPTH OR 30" BELOW GRADE, WHICHEVER IS GREATER. CONFIRM FROST DEPTH WITH JURISDICTION.



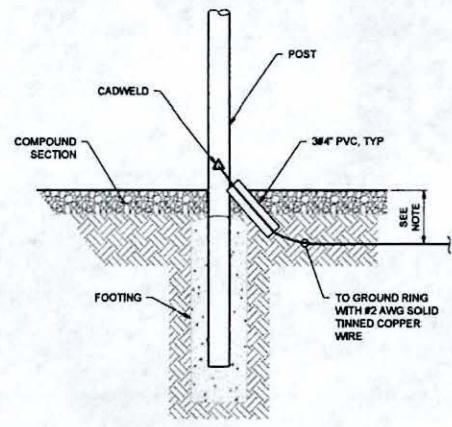
NTS GROUND RING TRENCH DETAIL 1

NOTE:
1. INSTALL GROUNDING 6" BELOW FROST DEPTH OR 30" BELOW GRADE, WHICHEVER IS GREATER. CONFIRM FROST DEPTH WITH JURISDICTION.



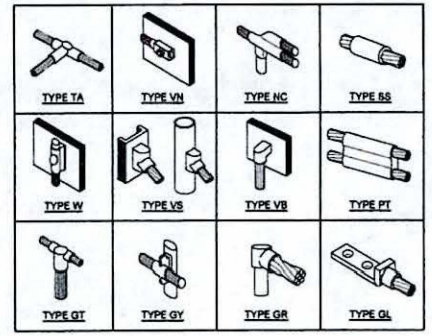
NTS GROUND ROD DETAIL 2

NOTE:
1. INSTALL GROUNDING 6" BELOW FROST DEPTH OR 30" BELOW GRADE, WHICHEVER IS GREATER. CONFIRM FROST DEPTH WITH JURISDICTION.



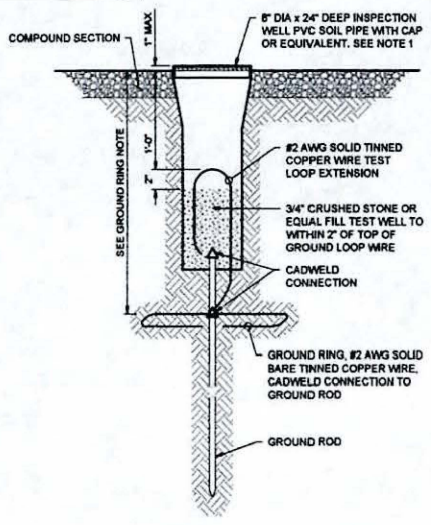
NTS POST GROUND DETAIL 3

NOTE:
1. CADWELD "TYPES" SHOWN ABOVE ARE EXAMPLES - CONSULT WITH PROJECT MANAGER FOR SPECIFIC TYPES OF CADWELDS TO BE USED.



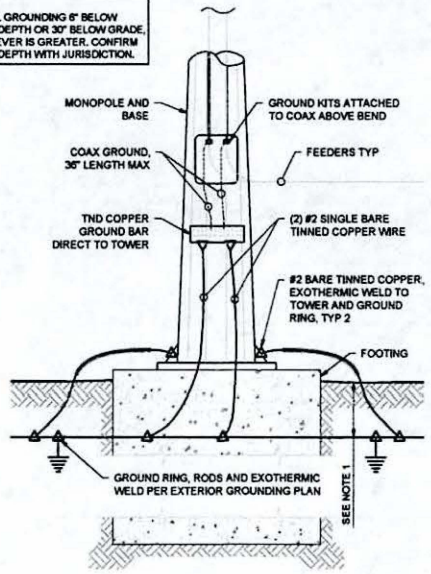
NTS CADWELD DETAILS 4

NOTE:
1. USE TRAFFIC RATED WELL LID AS REQUIRED



NTS TEST WELL DETAIL 5

NOTE:
1. INSTALL GROUNDING 6" BELOW FROST DEPTH OR 30" BELOW GRADE, WHICHEVER IS GREATER. CONFIRM FROST DEPTH WITH JURISDICTION.



NTS MONOPOLE GROUNDING DETAIL 6

verticalbridge

verizon

PROJECT INFO:
VERTICAL BRIDGE SITE NUMBER
US-OR-5130
SITE NAME:
MISTY MEADOWS
87432 CRANBERRY CREEK LN.
BANDON, OR 97411
COOS COUNTY

PLANS PREPARED BY:
TIBBOT ENGINEERING LLC.
12725 SE MILLIKAN WAY, STE 300
BEAVERTON, OR 97005
503-345-2821

STAMP:

REVISIONS: 08/30/24

PROJECT #:
23-0041

ISSUED FOR:
REVIEW

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
A	4/3/24	PRELIM CDG	-
0	8/25/24	FINAL CDG	-
1	8/1/24	FIBER UCR	-

DRAWN BY:
CHECKED BY:

CURRENT ISSUE DATE:
8/1/24

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SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER	REV
G-2	1

**PROJECT NARRATIVE
WIRELESS TELECOMMUNICATIONS FACILITY
CONDITIONAL USE APPLICATION
VERTICAL BRIDGE (US-OR-5130 MISTY MEADOWS)**

Submitted to Coos County, Oregon
Coos County Community Development Planning Department

Applicant: Vertical Bridge
Park of Commerce Drive, Suite 200
Boca Raton, FL 33487
Contact: Paul Danneberg
(206) 375-3798
Paul.Danneberg@verticalbridge.com

Representative: Smartlink, LLC
11044 SW Davos Ln.
Wilsonville, OR 97070
Contact: Craig Brunkenhoefer
503-505-0272
craig.brunkenhoefer@smartlinkgroup.com

Property-Owner: David Leff
87432 Cranberry Creek Lane
Bandon, OR 97411
Contact: David Leff
(541) 404-4262
twincreekranch@gmail.com

Project Address: 87432 Cranberry Creek Lane
Bandon, OR 97411

Description & Tax Lot: GPS Coordinates: [43.042253 / -124.419343]
Map & Taxlot: 29S1524-00-00500

Comp. Plan Designation: Rural

Zoning Classification: Forest

Smartlink, LLC is submitting this application on behalf of Vertical Bridge (“VB”) and the underlying property owner, David Leff.

1. PROJECT OVERVIEW

Vertical Bridge is proposing to build a new wireless telecommunications facility (“WCF” or “Facility”), US-OR-5130 MISTY MEADOWS, at the above-noted project address. This Facility is intended to fill a significant gap and/or improve the coverage capacity experienced by its wireless customers in a targeted coverage area in Coos County.

Vertical Bridge intends for its application for the proposed WCF to include the following documents (collectively, “VB’s Application”):

- Attachment 1—Project Narrative (this document)
- Attachment 2—Statement of Code Compliance
- Attachment 3—Signed Conditional Use Application
- Attachment 4—Signed Landlord Consent Form
- Attachment 5—FAA TOWAIR Determination
- Attachment 6—Final Zoning Drawings

As shown in Vertical Bridge’s Application, this proposed project meets all applicable Coos County’s code criteria for siting new wireless communications facilities and complies with all other applicable state and federal regulations. Vertical Bridge’s proposal is also the least intrusive means of meeting its coverage objectives for this site. Accordingly, Vertical Bridge respectfully requests Lane County to approve this project as proposed, subject only to Coos County’s standard conditions of approval.

Please Note: The responses and information included in **Attachment 2—Statement of Code Compliance** are intended to support and supplement this Project Narrative. All references to “Attachments” in this Project Narrative and the Statement of Code Compliance are in reference to the attachments included as part of Vertical Bridge’s Application.

2. PROPOSED PROJECT DETAILS

2.1. Location

Attachment 6, Final Zoning Drawings, to Vertical Bridge’s application includes detailed information regarding the subject property and proposed lease area.

2.1.1. Subject property. The subject property of this proposal is located at 35095 Ophir Rd. in the County of Coos (the “Property”). David Leff owns the Property.

The Property is zoned as F Forest, and the area of interest is currently cleared unused land.

2.1.2. Lease area.

- The proposed 50ft x 50ft lease area for the WCF is located in the central portion of the parcel (the "Lease Area").
- The Lease Area will be covered in 6in of 3/4in crushed rock with a weed barrier on 95% compacted fill.
- The lease area will be surrounded by a 6ft chain link fence with privacy slats, topped with barbed wire. A locked gate will secure access to the lease area.

2.1.3. Access and parking.

- Access to the lease area will be made from the proposed gravel access road from Cranberry Creek Lane to the north.
- Approximately 145ft of 12ft wide new gravel driveway will be installed from the existing turnaround to the lease area.
- A new 12-ft hammerhead access driveway and parking area will be constructed to connect the lease area with the existing access road. This extension will be covered in 6in of 3/4in crushed rock with a weed barrier on 95% compacted fill.

2.2. Wireless Facilities and Equipment

Specifications of the facilities outlined below, including a site plan, are included in **Attachment 6, Final Zoning Drawings**, to Vertical Bridge's Application.

2.2.1. Support structure design. Vertical Bridge proposes building a new 150ft tall monopole (the "Pole") on the Property. This will be an unmanned telecommunications facility.

2.2.2. Antennas and accessory equipment.

- The Pole will contain Verizon 5G LTE equipment:
 - Up to 12-panel antennas
 - Up to 12 remote radio units ("RRUs")
 - 2 new surge protectors
 - All associated and accessory equipment
- Sufficient space will be made available on the Pole as required for future collocations.

2.2.3. Ground equipment.

- All ground equipment associated with the tower will be constructed within the Lease Area.
- The ground equipment will be enclosed within cabinets placed on a concrete slab
- A diesel-fueled generator will also be located in the Lease Area for emergency backup power.

2.3. Additional Details

2.3.1. Lighting. The Pole will not be artificially illuminated, and no artificial lighting is required pursuant to state or federal authorities. (See Attachment 5—FAA TOWAIR Determination)

3. VERIZON NETWORK COVERAGE AND VERTICAL BRIDGE'S SERVICES

3.1. Overview—Vertical Bridge Build-to-Suit

Vertical Bridge is a build-to-suit vendor for all major telecommunication carriers. Verizon Wireless ("Verizon") will be the anchor tenant in this installation. Vertical Bridge intends to market this site to all major telecommunication companies.

3.2. Verizon's Coverage Objectives for Proposed Facility

This proposed new facility meets Verizon's coverage objectives by providing outdoor, in-vehicle, and in-building wireless coverage within this targeted coverage area that is not presently served by Verizon's network. Specifically, this facility is intended to fill a gap in Verizon's network coverage experienced by its customers along Highway 101. This coverage objective was determined through a combined analysis of market demand, service requests, and radio frequency engineering design.

Additionally, Verizon has established a need for service in this geographic area, as determined by market demand, coverage requirements for a specific geographic area, and the need to provide continuous coverage from one site to another in a particular geographic region. This proposed Facility will allow for uninterrupted wireless service in the targeted coverage area with fewer dropped calls, improved call quality, and improved access to additional wireless services that the public now demands. This includes emergency 911 calls throughout the area.

4. SEARCH RING

Verizon's radio frequency ("RF") engineers performed an RF engineering study, considering multiple objectives, to determine the approximate site location and antenna height required to fulfill the noted network objectives for the targeted service area. From this study, Verizon's RF engineers identified a specific geographic area, or "search ring", where a WCF may be located to provide effective service in the target coverage area.

5. SITING ANALYSIS

Verizon considers all siting possibilities within, and adjacent to, a search ring to determine the best location for a new facility to meet the targeted service objectives. Verizon will first attempt to utilize an existing tower or structure for collocation at the desired antenna height. If an existing tower or structure is not available or determined to be infeasible, Verizon will then propose a new tower.

For this proposed WCF, Verizon's construction and real estate group, with the assistance of outside consultants, thoroughly analyzed all siting options. Unfortunately, they were unable to

identify any colocation options within and directly adjacent to the targeted search ring as possible locations for the proposed new WCF. Therefore, Verizon contacted Vertical Bridge and requested their build-to-suit services for this proposed site.

6. APPLICABLE LAW

6.1. Local Codes

Pursuant to Coos County Zoning and Land Development Ordinance 4.6.100, new WCF support towers in the Forest zone (F) are subject to a Conditional Use Permit and must comply with the criteria in Coos County Zoning and Land Development Ordinance Sections 4.6.100, 4.6.110, 4.6.120, 4.6.130, and 4.6.140. *See Attachment 2—Statement of Code Compliance* for Vertical Bridge's demonstration of compliance with the applicable code.

**STATEMENT OF CODE COMPLIANCE for
WIRELESS COMMUNICATION FACILITY APPLICATION
VERTICAL BRIDGE (US-OR-5130 MISTY MEADOWS)**

NOTE: Vertical Bridge's (VB's) responses to the applicable Coos County Zoning and Land Development Ordinance Sections 4.6.100, 4.6.110, 4.6.120, 4.6.130, and 4.6.140, below, are indicated in *italicized, blue text*.

**ARTICLE 4.6 RESOURCE ZONING DISTRICT
FOREST (F) AND FOREST MIXED-USE (FMU)
Coos County Land Development Ordinance**

Section 4.6.100 Forest and Forest Mixed Use – Use Tables

VB: VB is proposing to install a new unmanned Wireless Communication Facility ("WCF") located in a Forest (F) zone. According to the above-referenced use tables subsection 29, Television, microwave and radio communication facilities and transmission towers are reviewed as an Administrative Conditional Use subject to review standards of sections (4)(h), (5), and (6).

Section 4.6.110 Uses Authorized in Forest Zones

- (1)** Goal 4 requires that forest land be conserved. Forest lands are conserved by adopting and applying comprehensive plan provisions and zoning regulations consistent with the goals and this rule. In addition to forest practices and operations and uses auxiliary to forest practices, as set forth in ORS 527.722, the Commission has determined that five general types of uses, as set forth in the goal, may be allowed in the forest environment, subject to the standards in the goal and in this rule. These general types of uses are: (a) Uses related to and in support of forest operations; (b) Uses to conserve soil, air and water quality and to provide for fish and wildlife resources, agriculture and recreational opportunities appropriate in a forest environment; (c) Locationally dependent uses, such as communication towers, mineral and aggregate resources, etc.; (d) Dwellings authorized by ORS 215.705 to 215.755; and (e) Other dwellings under prescribed conditions.

VB: VB is proposing to install a new unmanned Wireless Communication Facility ("WCF") located in a Forest (F) zone. According to the authorized uses listed above, this installation would be an authorized use under (C) locationally dependent uses, such as communication towers, and mineral and aggregate resources.

SECTION 4.6.120 REVIEW STANDARDS

...

- (4) CONDITIONAL USES** - The following uses may be allowed on forest lands as a conditional use (see table for type of conditional use) subject to the review standards in section (5) of this rule:

Craig Brunkenhoefer

From: TJ Harris
Sent: Saturday, September 14, 2024 4:59 PM
Cc: Ryan Dear
Subject: PGM Interview - Format/Topics

All,

If you are receiving this email, it is because you have applied for the PGM role in the west for Verizon. Myself and Ryan Dear will be on the panel. In order to help you prepare, I have listed a number of topics below, that you should be prepared to answer. This may not be everything we ask, but will be part of the process. Ultimately, this role is going to be responsible for execution and growth of multiple markets in the west, where we have a ton of opportunity to grow for Verizon, we just need the right local presence.

- Growth of the Business
- Delivery/Execution
- Product Knowledge
- Financial Management/Understanding
- Employee Growth/Satisfaction

For format, you should prepare a presentation covering these topics, speaking to your history, your plan for this role, and why you think you would be a good fit. Presentation should be around 5-10 minutes. Data is always welcome.

Thank you,



TJ Harris

Senior Director of Delivery

- 📞 443-370-5472
- ✉ timothy.harris@smartlinkgroup.com
- 📍 10 Church Circle, Annapolis, MD 21401
- 🌐 www.smartlinkgroup.com



(h) COMMUNICATION FACILITIES AND TRANSMISSION TOWERS – Television, microwave and radio communication facilities and transmission towers;

...

VB: VB is proposing to install a new unmanned Wireless Communication Facility (“WCF”) located in a Forest (F) zone. According to the above-referenced use tables subsection 29, Television, microwave and radio communication facilities and transmission towers are reviewed as an Administrative Conditional Use subject to review standards of sections (4)(h), (5), and (6).

(5) REVIEW CRITERIA FOR CONDITIONAL USES: A use authorized by section (4) of this rule may be allowed provided the following requirements or their equivalent are met. These requirements are designed to make the use compatible with forest operations and agriculture and to conserve values found on forest lands:

1. The proposed use will not force a significant change in, or significantly increase the cost of, accepted farming or forest practices on agriculture or forest lands.

VB: VB intends to comply with this requirement. Vertical Bridge’s installation of the new WCF at this location will not force a significant change in forest practices. See Attachment 6, Final Zoning Drawings.

2. The proposed use will not significantly increase fire hazard or significantly increase fire suppression costs or significantly increase risks to fire suppression personnel; and

VB: This is a proposed installation of the new unmanned Wireless Communication Facility that will be run on primary electric power provided by the existing infrastructure at this location. The only fuel source will be a small diesel generator that will only be used in emergency operations. Additionally, VB intends to comply with all development standards and fire siting and safety standards per the county’s code. See Attachment 6, Final Zoning Drawings.

3. A written statement recorded with the deed or written contract with the county or its equivalent is obtained from the land owner that recognizes the rights of adjacent and nearby land owners to conduct forest operations consistent with the Forest Practices Act and Rules for uses authorized in subsections (4)(e), (m), (s), (t) and (w) of this rule.

VB: Not applicable. The proposed WCF is an unmanned facility. There will be no change to existing covenants and no interruption to the rights to conduct forest operations consistent with the Forest Practices Act and the Rules of adjacent and nearby landowners.

4. All uses must comply with applicable development standards and fires siting and safety standards.

VB: This is a collocation at an existing unmanned Wireless Communication Facility that will be run on primary electric power provided by the existing infrastructure at this location. The only fuel

source will be a small diesel generator that will only be used in emergency operations. Additionally, VB intends to comply with all development standards and fire siting and safety standards per the county's code. See Attachment 6, Final Zoning Drawings.

(6) COMPLIANCE WITH OTHER REGULATIONS: Nothing in this rule relieves governing bodies from complying with other requirements contained in the comprehensive plan or implementing ordinances such as the requirements addressing other resource values (e.g., Goal 5) that exist on forest lands..

VB: VB acknowledges, understands, and intends to comply with this provision.

SECTION 4.6.130 SITING STANDARDS FOR DWELLING AND STRUCTURES IN FOREST ZONES

The following siting criteria or their equivalent shall apply to all new dwellings and structures in forest and agriculture/forest zones. These criteria are designed to make such uses compatible with forest operations and agriculture, to minimize wildfire hazards and risks and to conserve values found on forest lands. A governing body shall consider the criteria in this rule together with the requirements OAR 660-0060-0035 to identify the building site:

1. Dwellings and structures shall be sited on the parcel so that:

1. They have the least impact on nearby or adjoining forest or agricultural lands;

VB: Vertical Bridge's proposed installation of the new wireless facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140 See Attachment 6, Final Zoning Drawings.

2. The siting ensures that adverse impacts on forest operations and accepted farming practices on the tract will be minimized;

VB: Vertical Bridge's proposed installation of the new wireless facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140. The proposed location will not force a significant change in forest practices on the tract. Of note, VB is proposing to site its facility in an existing clearing on a portion of the property least suited for growing trees to minimize possible adverse impacts. See Attachment 6, Final Zoning Drawings.

3. The amount of forest lands used to site access roads, service corridors, the dwelling and structures is minimized; and

VB: Vertical Bridge's proposed installation of a new wireless facility will only use a 50ft x 50ft lease area and approximately 145 ft of new driveway. Additionally, as noted, VB is proposing to site its facility in an existing clearing on a portion of the property least suited for growing trees to minimize possible adverse impacts. Additionally, because the proposed location for Vertical

Bridge's facility is sited close to an existing access road, no additional forest land will be utilized to construct an access road. Vertical Bridge's proposed facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140. Please see Attachment 6, Final Zoning Drawings.

4. The risks associated with wildfire are minimized.

***VB:** Vertical Bridge's installation of a new wireless facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140, including the fire break requirements prescribed. Please see Attachment 6, Final Zoning Drawings.*

2. Siting criteria satisfying section (1) of this section may include setbacks from adjoining properties, clustering near or among existing structures, siting close to existing roads and siting on that portion of the parcel least suited for growing trees.

***VB:** Vertical Bridge's proposed installation of a new wireless facility will only use a 50ft x 50ft lease area and approximately 145 ft of new driveway. Additionally, as noted, VB is proposing to site its facility in an existing clearing on a portion of the property least suited for growing trees to minimize possible adverse impacts. Additionally, because the proposed location for Vertical Bridge's facility is sited close to an existing access road, no additional forest land will be utilized to construct an access road. Vertical Bridge's proposed facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140. Please see Attachment 6, Final Zoning Drawings.*

3. The applicant shall provide evidence to the governing body that the domestic water supply is from a source authorized in accordance with the Water Resources Department's administrative rules for the appropriation of ground water or surface water and not from a Class II stream as defined in the Forest Practices rules (OAR chapter 629). For purposes of this section, evidence of a domestic water supply means:

- a) Verification from a water purveyor that the use described in the application will be served by the purveyor under the purveyor's rights to appropriate water;
- b) A water use permit issued by the Water Resources Department for the use described in the application; or
- c) Verification from the Water Resources Department that a water use permit is not required for the use described in the application. If the proposed water supply is from a well and is exempt from permitting requirements under ORS 537.545, the applicant shall submit the well constructor's report to the county upon completion of the well.

***VB:** Not applicable. The proposed WCF is an unmanned facility that will not be connected to a water source.*

4. As a condition of approval, if road access to the dwelling is by a road owned and maintained by a private party or by the Oregon Department of Forestry, the U.S. Bureau of Land Management, or the U.S. Forest Service, then the applicant shall provide proof of a long-term road access use permit or agreement which could include an easement. The road use permit may require the applicant to agree to accept responsibility for road maintenance.

VB: Not applicable. The proposed WCF is adjacent to a public ROW.

5. Approval of a dwelling shall be subject to the following requirements:
 - a) Approval of a dwelling requires the owner of the tract to plant a sufficient number of trees on the tract to demonstrate that the tract is reasonably expected to meet Department of Forestry stocking requirements at the time specified in department of Forestry administrative rules;
 - b) The planning department shall notify the county assessor of the above condition at the time the dwelling is approved;
 - c) If the lot or parcel is more than 10 acres in western Oregon or more than 30 acres in eastern Oregon, the property owner shall submit a stocking survey report to the county assessor and the assessor will verify that the minimum stocking requirements have been met by the time required by Department of Forestry rules;
 - d) Upon notification by the assessor the Department of Forestry will determine whether the tract meets minimum stocking requirements of the Forest Practices Act. If that department determines that the tract does not meet those requirements, that department will notify the owner and the assessor that the land is not being managed as forest land. The assessor will then remove the forest land designation pursuant to ORS 321.359 and impose the additional tax; and
 - e) The county governing body or its designate shall require as a condition of approval of a single-family dwelling under ORS 215.213, 215.383 or 215.284 or otherwise in a farm or forest zone, that the landowner for the dwelling sign and record in the deed records for the county a document binding the landowner, and the landowner's successors in interest, prohibiting them from pursuing a claim for relief or cause of action alleging injury from farming or forest practices for which no action or claim is allowed under ORS 30.936 or 30.937.

VB: Not applicable.

Section 4.6.140 Development and Siting Criteria:

This section contains all of the development standards for uses (unless otherwise accepted out by a use review) and all of the siting standards for development.

1. Except as provided in subsection 4.6.145 of this ordinance, the following minimum lot or parcel sizes apply for land designated forestland, is at least 80 acres.

Minimum Lot Size for the creation of new parcels shall be at least 80 acres. Minimum lot size will not affect approval for development unless specified in use. The size of the parcel will not prohibit development as long as it was lawfully created or otherwise required to be a certain size in order to qualify for a use.

VB: Not applicable.

2. Setbacks: All Development with the exception of fences shall be set back a minimum of thirty-five (35) feet from any road right-of-way centerline, or five (5) feet from any right-of-way line, whichever is greater.

VB: Vertical Bridge's proposed installation of a new wireless facility has been designed to be consistent with all applicable provisions of this section. Please see Attachment 6, Final Zoning Drawings.

3. Fences, Hedges and Walls: No requirement, except for vision clearance provisions in Section 7.1.525.

VB: Not applicable.

4. Off-Street Parking and Loading: See Chapter VII.

VB: Not applicable.

5. Minimizing Impacts: In order to minimize the impact of dwellings in forest lands, all applicants requesting a single-family dwelling shall acknowledge and file in the deed record of Coos County, a Forest Management Covenant. The Forest Management Covenant shall be filed prior to any final County approval for a single-family dwelling.

VB: Not applicable. No new dwellings are being constructed as a result of this project.

6. Riparian Vegetation Protection. Riparian vegetation within 50 feet of a wetland, stream, lake or river, as identified on the Coastal Shoreland and Fish and Wildlife habitat inventory maps shall be maintained except that:

- a. Trees certified as posing an erosion or safety hazard. Property owner is responsible for ensuring compliance with all local, state and federal agencies for the removal of the tree.
- b. Riparian vegetation may be removed to provide direct access for a water-dependent use if it is a listed permitted within the zoning district;

- c. Riparian vegetation may be removed in order to allow establishment of authorized structural shoreline stabilization measures;
- d. Riparian vegetation may be removed to facilitate stream or stream bank clearance projects under a port district, ODFW, BLM, Soil & Water Conservation District, or USFS stream enhancement plan;
- e. Riparian vegetation may be removed in order to site or properly maintain public utilities and road rights-of-way;
- f. Riparian vegetation may be removed in conjunction with existing agricultural operations (e.g., to site or maintain irrigation pumps, to limit encroaching brush, to allow harvesting farm crops customarily grown within riparian corridors, etc.) provided that such vegetation removal does not encroach further into the vegetation buffer except as needed to provide an access to the water to site or maintain irrigation pumps; or
- g. The 50-foot riparian vegetation setback shall not apply in any instance where an existing structure was lawfully established and an addition or alteration to said structure is to be sited not closer to the estuarine wetland, stream, lake, or river than the existing structure and said addition or alteration represents not more than 100% of the size of the existing structure's "footprint".
- h. Riparian removal within the Coastal Shoreland Boundary will require a conditional use. See Special Development Considerations Coastal Shoreland Boundary.
- i. The 50' measurement shall be taken from the closest point of the ordinary high-water mark to the structure using a right angle from the ordinary high-water mark.

VB: Not applicable.

- 7. All new and replacement dwellings and permanent structures shall, at a minimum, meet the following standards.
 - a) The dwelling has a fire retardant roof.

VB: Not applicable.

- b) The dwelling will not be sited on a slope of greater than 40 percent. Slope5 will also determine additional firebreak in Section 8 Firebreak. Evidence is provided that the domestic water supply is from a source authorized by the Water Resources Department and not from a Class II stream as designated by the State Board of Forestry.

VB: Not applicable. The unmanned WCF is not on a slope.

- c) The dwelling is located upon a parcel within a fire protection district or is provided with residential fire protection by contract. If the dwelling is not within a fire protection district, the applicant provides evidence that the applicant has asked to be included in the nearest such district or contract with a private fire protection company.

VB: The new structure, which is proposed for installation, is an unmanned wireless facility. The project is understood to be located within the Coos County Fourmile Sub-Unit Rural Fire Protection District.

- d) For dwellings and structures outside of a fire protection district alternative forms of fire protections will apply to the develop including fire sprinkling system, on-site equipment and water storage.
 - i. Water storage shall be be a swimming pool, pond, lake or similar body of water that at all times contains at least 4,000 gallons or a stream that has a minimum flow of at least one cubic foot per second. Road access shall be provided to within 15 feet of the water's edge for fire-fighting pumping units, and the road access shall accommodate a turnaround for fire-fighting equipment. The access to the water source shall be marked with signs for fire water sources.

VB: Not applicable.

- e) If the dwelling has a chimney or chimneys, each chimney has a spark arrester.

VB: Not applicable.

- f) The owner provides and maintains primary fuel-free break and secondary break areas on land surrounding the dwelling that is owned or controlled by the owner and complies with Section 8 Firebreak.

VB: Vertical Bridge's installation of a new wireless facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140, including the fire break requirements prescribed. Please see Attachment 6, Final Zoning Drawings.

8. Firebreak:

- a) The property owner shall maintain a primary firebreak safety zone around all structures. Vegetation within this primary safety zone may include mowed grasses, low shrubs (less than ground floor window height), and trees that are spaced with more than 15 feet between the crowns and pruned to remove dead and low (less than 8 feet from the ground) branches. Accumulated needles, limbs and other dead vegetation should be removed from beneath trees.

- b) Sufficient garden hose to reach the perimeter of the primary safety zone shall be available at all times.
- c) The owners of the dwelling shall maintain a primary fuel-free break area surrounding all structures and clear and maintain a secondary fuel-free break on land surrounding all structures and clear and maintain a secondary fuel-free break area on land surrounding the dwelling that is owned or controlled by the owner in accordance with the provisions in "Recommended Fire Siting Standards for Dwellings and Structures and Fire Safety Design Standards for Roads" dated March 1, 1991, and published by Oregon Department of Forestry and shall demonstrate compliance with Table 1.
- d) Proof that all of these items will be met includes proof of the slope to determine additional firebreak setbacks is required.

VB: Vertical Bridge's proposed collocation at the existing wireless facility has been designed to be consistent with all applicable provisions of this section, including the fuel-free break requirements prescribed in this section. Please see Attachment 6, Final Zoning Drawings.

- 9. All new and replacement structures shall use non-combustible or fire-resistant roofing materials, as may be approved by the certified official responsible for the building permit.

VB: Vertical Bridge's proposed collocation at the existing wireless facility has been designed to be consistent with all applicable provisions of this section, including the fuel-free break requirements prescribed in this section. Please see Attachment 6, Final Zoning Drawings. .

- 10. Access to new dwellings shall meet road and driveway standards in Chapter VII.

VB: Vertical Bridge's proposed collocation on the existing wireless facility has been designed to be consistent with all applicable provisions of this section, including the fuel-free break requirements prescribed in this section. Please see Attachment 6, Final Zoning Drawings.

**PROJECT NARRATIVE
WIRELESS TELECOMMUNICATIONS FACILITY
CONDITIONAL USE APPLICATION
VERTICAL BRIDGE (US-OR-5130 MISTY MEADOWS)**

Submitted to Coos County, Oregon
Coos County Community Development Planning Department

Applicant: Vertical Bridge
Park of Commerce Drive, Suite 200
Boca Raton, FL 33487
Contact: Paul Danneberg
(206) 375-3798
Paul.Danneberg@verticalbridge.com

Representative: Smartlink, LLC
11044 SW Davos Ln.
Wilsonville, OR 97070
Contact: Craig Brunkenhoefer
503-505-0272
craig.brunkenhoefer@smartlinkgroup.com

Property-Owner: David Leff
87432 Cranberry Creek Lane
Bandon, OR 97411
Contact: David Leff
(541) 404-4262
twincreekranch@gmail.com

Project Address: 87432 Cranberry Creek Lane
Bandon, OR 97411

Description & Tax Lot: GPS Coordinates: [43.042253 / -124.419343]
Map & Taxlot: 29S1524-00-00500

Comp. Plan Designation: Rural

Zoning Classification: Forest

Smartlink, LLC is submitting this application on behalf of Vertical Bridge (“VB”) and the underlying property owner, David Leff.

1. PROJECT OVERVIEW

Vertical Bridge is proposing to build a new wireless telecommunications facility (“WCF” or “Facility”), US-OR-5130 MISTY MEADOWS, at the above-noted project address. This Facility is intended to fill a significant gap and/or improve the coverage capacity experienced by its wireless customers in a targeted coverage area in Coos County.

Vertical Bridge intends for its application for the proposed WCF to include the following documents (collectively, “VB’s Application”):

- Attachment 1—Project Narrative (this document)
- Attachment 2—Statement of Code Compliance
- Attachment 3—Signed Conditional Use Application
- Attachment 4—Signed Landlord Consent Form
- Attachment 5—FAA TOWAIR Determination
- Attachment 6—Final Zoning Drawings

As shown in Vertical Bridge’s Application, this proposed project meets all applicable Coos County’s code criteria for siting new wireless communications facilities and complies with all other applicable state and federal regulations. Vertical Bridge’s proposal is also the least intrusive means of meeting its coverage objectives for this site. Accordingly, Vertical Bridge respectfully requests Lane County to approve this project as proposed, subject only to Coos County’s standard conditions of approval.

Please Note: The responses and information included in **Attachment 2—Statement of Code Compliance** are intended to support and supplement this Project Narrative. All references to “Attachments” in this Project Narrative and the Statement of Code Compliance are in reference to the attachments included as part of Vertical Bridge’s Application.

2. PROPOSED PROJECT DETAILS

2.1. Location

Attachment 6, Final Zoning Drawings, to Vertical Bridge’s application includes detailed information regarding the subject property and proposed lease area.

2.1.1. Subject property. The subject property of this proposal is located at 35095 Ophir Rd. in the County of Coos (the “Property”). David Leff owns the Property.

The Property is zoned as F Forest, and the area of interest is currently cleared unused land.

2.1.2. Lease area.

- The proposed 50ft x 50ft lease area for the WCF is located in the central portion of the parcel (the “Lease Area”).
- The Lease Area will be covered in 6in of 3/4in crushed rock with a weed barrier on 95% compacted fill.
- The lease area will be surrounded by a 6ft chain link fence with privacy slats, topped with barbed wire. A locked gate will secure access to the lease area.

2.1.3. Access and parking.

- Access to the lease area will be made from the proposed gravel access road from Cranberry Creek Lane to the north.
- Approximately 145ft of 12ft wide new gravel driveway will be installed from the existing turnaround to the lease area.
- A new 12-ft hammerhead access driveway and parking area will be constructed to connect the lease area with the existing access road. This extension will be covered in 6in of 3/4in crushed rock with a weed barrier on 95% compacted fill.

2.2. Wireless Facilities and Equipment

Specifications of the facilities outlined below, including a site plan, are included in **Attachment 6, Final Zoning Drawings**, to Vertical Bridge’s Application.

2.2.1. Support structure design. Vertical Bridge proposes building a new 150ft tall monopole (the “Pole”) on the Property. This will be an unmanned telecommunications facility.

2.2.2. Antennas and accessory equipment.

- The Pole will contain Verizon 5G LTE equipment:
 - Up to 12-panel antennas
 - Up to 12 remote radio units (“RRUs”)
 - 2 new surge protectors
 - All associated and accessory equipment
- Sufficient space will be made available on the Pole as required for future collocations.

2.2.3. Ground equipment.

- All ground equipment associated with the tower will be constructed within the Lease Area.
- The ground equipment will be enclosed within cabinets placed on a concrete slab
- A diesel-fueled generator will also be located in the Lease Area for emergency backup power.

2.3. Additional Details

2.3.1. Lighting. The Pole will not be artificially illuminated, and no artificial lighting is required pursuant to state or federal authorities. (See Attachment 5—FAA TOWAIR Determination)

3. VERIZON NETWORK COVERAGE AND VERTICAL BRIDGE'S SERVICES

3.1. Overview—Vertical Bridge Build-to-Suit

Vertical Bridge is a build-to-suit vendor for all major telecommunication carriers. Verizon Wireless ("Verizon") will be the anchor tenant in this installation. Vertical Bridge intends to market this site to all major telecommunication companies.

3.2. Verizon's Coverage Objectives for Proposed Facility

This proposed new facility meets Verizon's coverage objectives by providing outdoor, in-vehicle, and in-building wireless coverage within this targeted coverage area that is not presently served by Verizon's network. Specifically, this facility is intended to fill a gap in Verizon's network coverage experienced by its customers along Highway 101. This coverage objective was determined through a combined analysis of market demand, service requests, and radio frequency engineering design.

Additionally, Verizon has established a need for service in this geographic area, as determined by market demand, coverage requirements for a specific geographic area, and the need to provide continuous coverage from one site to another in a particular geographic region. This proposed Facility will allow for uninterrupted wireless service in the targeted coverage area with fewer dropped calls, improved call quality, and improved access to additional wireless services that the public now demands. This includes emergency 911 calls throughout the area.

4. SEARCH RING

Verizon's radio frequency ("RF") engineers performed an RF engineering study, considering multiple objectives, to determine the approximate site location and antenna height required to fulfill the noted network objectives for the targeted service area. From this study, Verizon's RF engineers identified a specific geographic area, or "search ring", where a WCF may be located to provide effective service in the target coverage area.

5. SITING ANALYSIS

Verizon considers all siting possibilities within, and adjacent to, a search ring to determine the best location for a new facility to meet the targeted service objectives. Verizon will first attempt to utilize an existing tower or structure for collocation at the desired antenna height. If an existing tower or structure is not available or determined to be infeasible, Verizon will then propose a new tower.

For this proposed WCF, Verizon's construction and real estate group, with the assistance of outside consultants, thoroughly analyzed all siting options. Unfortunately, they were unable to

identify any colocation options within and directly adjacent to the targeted search ring as possible locations for the proposed new WCF. Therefore, Verizon contacted Vertical Bridge and requested their build-to-suit services for this proposed site.

6. APPLICABLE LAW

6.1. Local Codes

Pursuant to Coos County Zoning and Land Development Ordinance 4.6.100, new WCF support towers in the Forest zone (F) are subject to a Conditional Use Permit and must comply with the criteria in Coos County Zoning and Land Development Ordinance Sections 4.6.100, 4.6.110, 4.6.120, 4.6.130, and 4.6.140. *See Attachment 2—Statement of Code Compliance* for Vertical Bridge's demonstration of compliance with the applicable code.

**STATEMENT OF CODE COMPLIANCE for
WIRELESS COMMUNICATION FACILITY APPLICATION
VERTICAL BRIDGE (US-OR-5130 MISTY MEADOWS)**

NOTE: Vertical Bridge’s (VB’s) responses to the applicable Coos County Zoning and Land Development Ordinance Sections 4.6.100, 4.6.110, 4.6.120, 4.6.130, and 4.6.140, below, are indicated in *italicized, blue text*.

**ARTICLE 4.6 RESOURCE ZONING DISTRICT
FOREST (F) AND FOREST MIXED-USE (FMU)
Coos County Land Development Ordinance**

Section 4.6.100 Forest and Forest Mixed Use – Use Tables

VB: VB is proposing to install a new unmanned Wireless Communication Facility (“WCF”) located in a Forest (F) zone. According to the above-referenced use tables subsection 29, Television, microwave and radio communication facilities and transmission towers are reviewed as an Administrative Conditional Use subject to review standards of sections (4)(h), (5), and (6).

Section 4.6.110 Uses Authorized in Forest Zones

- (1)** Goal 4 requires that forest land be conserved. Forest lands are conserved by adopting and applying comprehensive plan provisions and zoning regulations consistent with the goals and this rule. In addition to forest practices and operations and uses auxiliary to forest practices, as set forth in ORS 527.722, the Commission has determined that five general types of uses, as set forth in the goal, may be allowed in the forest environment, subject to the standards in the goal and in this rule. These general types of uses are: (a) Uses related to and in support of forest operations; (b) Uses to conserve soil, air and water quality and to provide for fish and wildlife resources, agriculture and recreational opportunities appropriate in a forest environment; (c) Locationally dependent uses, such as communication towers, mineral and aggregate resources, etc.; (d) Dwellings authorized by ORS 215.705 to 215.755; and (e) Other dwellings under prescribed conditions.

VB: VB is proposing to install a new unmanned Wireless Communication Facility (“WCF”) located in a Forest (F) zone. According to the authorized uses listed above, this installation would be an authorized use under (C) locationally dependent uses, such as communication towers, and mineral and aggregate resources.

SECTION 4.6.120 REVIEW STANDARDS

...

(4) CONDITIONAL USES - The following uses may be allowed on forest lands as a conditional use (see table for type of conditional use) subject to the review standards in section (5) of this rule:

Craig Brunkenhoefer

From: TJ Harris
Sent: Saturday, September 14, 2024 4:59 PM
Cc: Ryan Dear
Subject: PGM Interview - Format/Topics

All,

If you are receiving this email, it is because you have applied for the PGM role in the west for Verizon. Myself and Ryan Dear will be on the panel. In order to help you prepare, I have listed a number of topics below, that you should be prepared to answer. This may not be everything we ask, but will be part of the process. Ultimately, this role is going to be responsible for execution and growth of multiple markets in the west, where we have a ton of opportunity to grow for Verizon, we just need the right local presence.

- Growth of the Business
- Delivery/Execution
- Product Knowledge
- Financial Management/Understanding
- Employee Growth/Satisfaction

For format, you should prepare a presentation covering these topics, speaking to your history, your plan for this role, and why you think you would be a good fit. Presentation should be around 5-10 minutes. Data is always welcome.

Thank you,



TJ Harris

Senior Director of Delivery

📞 443-370-5472
✉️ timothy.harris@smartlinkgroup.com
📍 10 Church Circle, Annapolis, MD 21401
🌐 www.smartlinkgroup.com



(h) COMMUNICATION FACILITIES AND TRANSMISSION TOWERS – Television, microwave and radio communication facilities and transmission towers;

...

VB: VB is proposing to install a new unmanned Wireless Communication Facility (“WCF”) located in a Forest (F) zone. According to the above-referenced use tables subsection 29, Television, microwave and radio communication facilities and transmission towers are reviewed as an Administrative Conditional Use subject to review standards of sections (4)(h), (5), and (6).

(5) REVIEW CRITERIA FOR CONDITIONAL USES: A use authorized by section (4) of this rule may be allowed provided the following requirements or their equivalent are met. These requirements are designed to make the use compatible with forest operations and agriculture and to conserve values found on forest lands:

1. The proposed use will not force a significant change in, or significantly increase the cost of, accepted farming or forest practices on agriculture or forest lands.

VB: VB intends to comply with this requirement. Vertical Bridge’s installation of the new WCF at this location will not force a significant change in forest practices. See Attachment 6, Final Zoning Drawings.

2. The proposed use will not significantly increase fire hazard or significantly increase fire suppression costs or significantly increase risks to fire suppression personnel; and

VB: This is a proposed installation of the new unmanned Wireless Communication Facility that will be run on primary electric power provided by the existing infrastructure at this location. The only fuel source will be a small diesel generator that will only be used in emergency operations. Additionally, VB intends to comply with all development standards and fire siting and safety standards per the county’s code. See Attachment 6, Final Zoning Drawings.

3. A written statement recorded with the deed or written contract with the county or its equivalent is obtained from the land owner that recognizes the rights of adjacent and nearby land owners to conduct forest operations consistent with the Forest Practices Act and Rules for uses authorized in subsections (4)(e), (m), (s), (t) and (w) of this rule.

VB: Not applicable. The proposed WCF is an unmanned facility. There will be no change to existing covenants and no interruption to the rights to conduct forest operations consistent with the Forest Practices Act and the Rules of adjacent and nearby landowners.

4. All uses must comply with applicable development standards and fires siting and safety standards.

VB: This is a collocation at an existing unmanned Wireless Communication Facility that will be run on primary electric power provided by the existing infrastructure at this location. The only fuel

source will be a small diesel generator that will only be used in emergency operations. Additionally, VB intends to comply with all development standards and fire siting and safety standards per the county's code. See Attachment 6, Final Zoning Drawings.

(6) COMPLIANCE WITH OTHER REGULATIONS: Nothing in this rule relieves governing bodies from complying with other requirements contained in the comprehensive plan or implementing ordinances such as the requirements addressing other resource values (e.g., Goal 5) that exist on forest lands..

VB: VB acknowledges, understands, and intends to comply with this provision.

SECTION 4.6.130 SITING STANDARDS FOR DWELLING AND STRUCTURES IN FOREST ZONES

The following siting criteria or their equivalent shall apply to all new dwellings and structures in forest and agriculture/forest zones. These criteria are designed to make such uses compatible with forest operations and agriculture, to minimize wildfire hazards and risks and to conserve values found on forest lands. A governing body shall consider r the criteria in this rule together with the requirements OAR 660- 0060-0035 to identify the building site:

1. Dwellings and structures shall be sited on the parcel so that:

1. They have the least impact on nearby or adjoining forest or agricultural lands;

VB: Vertical Bridge's proposed installation of the new wireless facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140 See Attachment 6, Final Zoning Drawings.

2. The siting ensures that adverse impacts on forest operations and accepted farming practices on the tract will be minimized;

VB: Vertical Bridge's proposed installation of the new wireless facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140. The proposed location will not force a significant change in forest practices on the tract. Of note, VB is proposing to site its facility in an existing clearing on a portion of the property least suited for growing trees to minimize possible adverse impacts. See Attachment 6, Final Zoning Drawings.

3. The amount of forest lands used to site access roads, service corridors, the dwelling and structures is minimized; and

VB: Vertical Bridge's proposed installation of a new wireless facility will only use a 50ft x 50ft lease area and approximately 145 ft of new driveway. Additionally, as noted, VB is proposing to site its facility in an existing clearing on a portion of the property least suited for growing trees to minimize possible adverse impacts. Additionally, because the proposed location for Vertical

Bridge's facility is sited close to an existing access road, no additional forest land will be utilized to construct an access road. Vertical Bridge's proposed facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140. Please see Attachment 6, Final Zoning Drawings.

4. The risks associated with wildfire are minimized.

VB: Vertical Bridge's installation of a new wireless facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140, including the fire break requirements prescribed. Please see Attachment 6, Final Zoning Drawings.

2. Siting criteria satisfying section (1) of this section may include setbacks from adjoining properties, clustering near or among existing structures, siting close to existing roads and siting on that portion of the parcel least suited for growing trees.

VB: Vertical Bridge's proposed installation of a new wireless facility will only use a 50ft x 50ft lease area and approximately 145 ft of new driveway. Additionally, as noted, VB is proposing to site its facility in an existing clearing on a portion of the property least suited for growing trees to minimize possible adverse impacts. Additionally, because the proposed location for Vertical Bridge's facility is sited close to an existing access road, no additional forest land will be utilized to construct an access road. Vertical Bridge's proposed facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140. Please see Attachment 6, Final Zoning Drawings.

3. The applicant shall provide evidence to the governing body that the domestic water supply is from a source authorized in accordance with the Water Resources Department's administrative rules for the appropriation of ground water or surface water and not from a Class II stream as defined in the Forest Practices rules (OAR chapter 629). For purposes of this section, evidence of a domestic water supply means:
 - a) Verification from a water purveyor that the use described in the application will be served by the purveyor under the purveyor's rights to appropriate water;
 - b) A water use permit issued by the Water Resources Department for the use described in the application; or
 - c) Verification from the Water Resources Department that a water use permit is not required for the use described in the application. If the proposed water supply is from a well and is exempt from permitting requirements under ORS 537.545, the applicant shall submit the well constructor's report to the county upon completion of the well.

VB: Not applicable. The proposed WCF is an unmanned facility that will not be connected to a water source.

4. As a condition of approval, if road access to the dwelling is by a road owned and maintained by a private party or by the Oregon Department of Forestry, the U.S. Bureau of Land Management, or the U.S. Forest Service, then the applicant shall provide proof of a long-term road access use permit or agreement which could include an easement. The road use permit may require the applicant to agree to accept responsibility for road maintenance.

VB: Not applicable. The proposed WCF is adjacent to a public ROW.

5. Approval of a dwelling shall be subject to the following requirements:
 - a) Approval of a dwelling requires the owner of the tract to plant a sufficient number of trees on the tract to demonstrate that the tract is reasonably expected to meet Department of Forestry stocking requirements at the time specified in department of Forestry administrative rules;
 - b) The planning department shall notify the county assessor of the above condition at the time the dwelling is approved;
 - c) If the lot or parcel is more than 10 acres in western Oregon or more than 30 acres in eastern Oregon, the property owner shall submit a stocking survey report to the county assessor and the assessor will verify that the minimum stocking requirements have been met by the time required by Department of Forestry rules;
 - d) Upon notification by the assessor the Department of Forestry will determine whether the tract meets minimum stocking requirements of the Forest Practices Act. If that department determines that the tract does not meet those requirements, that department will notify the owner and the assessor that the land is not being managed as forest land. The assessor will then remove the forest land designation pursuant to ORS 321.359 and impose the additional tax; and
 - e) The county governing body or its designate shall require as a condition of approval of a single-family dwelling under ORS 215.213, 215.383 or 215.284 or otherwise in a farm or forest zone, that the landowner for the dwelling sign and record in the deed records for the county a document binding the landowner, and the landowner's successors in interest, prohibiting them from pursuing a claim for relief or cause of action alleging injury from farming or forest practices for which no action or claim is allowed under ORS 30.936 or 30.937.

VB: Not applicable.

Section 4.6.140 Development and Siting Criteria:

This section contains all of the development standards for uses (unless otherwise accepted out by a use review) and all of the siting standards for development.

1. Except as provided in subsection 4.6.145 of this ordinance, the following minimum lot or parcel sizes apply for land designated forestland, is at least 80 acres.

Minimum Lot Size for the creation of new parcels shall be at least 80 acres. Minimum lot size will not affect approval for development unless specified in use. The size of the parcel will not prohibit development as long as it was lawfully created or otherwise required to be a certain size in order to qualify for a use.

VB: Not applicable.

2. Setbacks: All Development with the exception of fences shall be set back a minimum of thirty-five (35) feet from any road right-of-way centerline, or five (5) feet from any right-of-way line, whichever is greater.

VB: Vertical Bridge's proposed installation of a new wireless facility has been designed to be consistent with all applicable provisions of this section. Please see Attachment 6, Final Zoning Drawings.

3. Fences, Hedges and Walls: No requirement, except for vision clearance provisions in Section 7.1.525.

VB: Not applicable.

4. Off-Street Parking and Loading: See Chapter VII.

VB: Not applicable.

5. Minimizing Impacts: In order to minimize the impact of dwellings in forest lands, all applicants requesting a single-family dwelling shall acknowledge and file in the deed record of Coos County, a Forest Management Covenant. The Forest Management Covenant shall be filed prior to any final County approval for a single-family dwelling.

VB: Not applicable. No new dwellings are being constructed as a result of this project.

6. Riparian Vegetation Protection. Riparian vegetation within 50 feet of a wetland, stream, lake or river, as identified on the Coastal Shoreland and Fish and Wildlife habitat inventory maps shall be maintained except that:

- a. Trees certified as posing an erosion or safety hazard. Property owner is responsible for ensuring compliance with all local, state and federal agencies for the removal of the tree.
- b. Riparian vegetation may be removed to provide direct access for a water-dependent use if it is a listed permitted within the zoning district;

- c. Riparian vegetation may be removed in order to allow establishment of authorized structural shoreline stabilization measures;
- d. Riparian vegetation may be removed to facilitate stream or stream bank clearance projects under a port district, ODFW, BLM, Soil & Water Conservation District, or USFS stream enhancement plan;
- e. Riparian vegetation may be removed in order to site or properly maintain public utilities and road rights-of-way;
- f. Riparian vegetation may be removed in conjunction with existing agricultural operations (e.g., to site or maintain irrigation pumps, to limit encroaching brush, to allow harvesting farm crops customarily grown within riparian corridors, etc.) provided that such vegetation removal does not encroach further into the vegetation buffer except as needed to provide an access to the water to site or maintain irrigation pumps; or
- g. The 50-foot riparian vegetation setback shall not apply in any instance where an existing structure was lawfully established and an addition or alteration to said structure is to be sited not closer to the estuarine wetland, stream, lake, or river than the existing structure and said addition or alteration represents not more than 100% of the size of the existing structure's "footprint".
- h. Riparian removal within the Coastal Shoreland Boundary will require a conditional use. See Special Development Considerations Coastal Shoreland Boundary.
- i. The 50' measurement shall be taken from the closest point of the ordinary high-water mark to the structure using a right angle from the ordinary high-water mark.

VB: Not applicable.

- 7. All new and replacement dwellings and permanent structures shall, at a minimum, meet the following standards.
 - a) The dwelling has a fire retardant roof.

VB: Not applicable.

- b) The dwelling will not be sited on a slope of greater than 40 percent. Slope5 will also determine additional firebreak in Section 8 Firebreak. Evidence is provided that the domestic water supply is from a source authorized by the Water Resources Department and not from a Class II stream as designated by the State Board of Forestry.

VB: Not applicable. The unmanned WCF is not on a slope.

- c) The dwelling is located upon a parcel within a fire protection district or is provided with residential fire protection by contract. If the dwelling is not within a fire protection district, the applicant provides evidence that the applicant has asked to be included in the nearest such district or contract with a private fire protection company.

VB: The new structure, which is proposed for installation, is an unmanned wireless facility. The project is understood to be located within the Coos County Fourmile Sub-Unit Rural Fire Protection District.

- d) For dwellings and structures outside of a fire protection district alternative forms of fire protections will apply to the develop including fire sprinkling system, on-site equipment and water storage.
 - i. Water storage shall be be a swimming pool, pond, lake or similar body of water that at all times contains at least 4,000 gallons or a stream that has a minimum flow of at least one cubic foot per second. Road access shall be provided to within 15 feet of the water's edge for fire-fighting pumping units, and the road access shall accommodate a turnaround for fire-fighting equipment. The access to the water source shall be marked with signs for fire water sources.

VB: Not applicable.

- e) If the dwelling has a chimney or chimneys, each chimney has a spark arrester.

VB: Not applicable.

- f) The owner provides and maintains primary fuel-free break and secondary break areas on land surrounding the dwelling that is owned or controlled by the owner and complies with Section 8 Firebreak.

VB: Vertical Bridge's installation of a new wireless facility has been designed to be consistent with all applicable provisions of this section, including the development and siting criteria standards under Section 4.6.140, including the fire break requirements prescribed. Please see Attachment 6, Final Zoning Drawings.

8. Firebreak:

- a) The property owner shall maintain a primary firebreak safety zone around all structures. Vegetation within this primary safety zone may include mowed grasses, low shrubs (less than ground floor window height), and trees that are spaced with more than 15 feet between the crowns and pruned to remove dead and low (less than 8 feet from the ground) branches. Accumulated needles, limbs and other dead vegetation should be removed from beneath trees.

- b) Sufficient garden hose to reach the perimeter of the primary safety zone shall be available at all times.
- c) The owners of the dwelling shall maintain a primary fuel-free break area surrounding all structures and clear and maintain a secondary fuel-free break on land surrounding all structures and clear and maintain a secondary fuel-free break area on land surrounding the dwelling that is owned or controlled by the owner in accordance with the provisions in "Recommended Fire Siting Standards for Dwellings and Structures and Fire Safety Design Standards for Roads" dated March 1, 1991, and published by Oregon Department of Forestry and shall demonstrate compliance with Table 1.
- d) Proof that all of these items will be met includes proof of the slope to determine additional firebreak setbacks is required.

VB: Vertical Bridge's proposed collocation at the existing wireless facility has been designed to be consistent with all applicable provisions of this section, including the fuel-free break requirements prescribed in this section. Please see Attachment 6, Final Zoning Drawings.

- 9. All new and replacement structures shall use non-combustible or fire-resistant roofing materials, as may be approved by the certified official responsible for the building permit.

VB: Vertical Bridge's proposed collocation at the existing wireless facility has been designed to be consistent with all applicable provisions of this section, including the fuel-free break requirements prescribed in this section. Please see Attachment 6, Final Zoning Drawings. .

- 10. Access to new dwellings shall meet road and driveway standards in Chapter VII.

VB: Vertical Bridge's proposed collocation on the existing wireless facility has been designed to be consistent with all applicable provisions of this section, including the fuel-free break requirements prescribed in this section. Please see Attachment 6, Final Zoning Drawings.

CERTIFICATION OF VITAL RECORD

OREGON DEPARTMENT OF HUMAN SERVICES
 CENTER FOR HEALTH STATISTICS
CERTIFICATE OF DEATH 136- STATE FILE NUMBER

1. Legal Name Israel Martin Leff					2. Death Date (MO/DO/YYYY) December 17, 2010	
3. Sex (M/F) Male	4a. Age - Last Birthday 79	4b. Under 1 Year Months: Days:	4c. Under 1 Day Hours: Minutes:	5. Social Security Number	6. County of Death Coos	
7. Birth Date (MO/DO/YYYY) July 1, 1931		8a. Birthplace (City/Town, or County) Bronx		8b. (State or Foreign Country) New York	9. Decedent's Education 11th grade; no diploma	
10. Was Decedent of Hispanic Origin? (Yes or No. If yes, specify) No			11. Decedent's Race(s) White		12. Was Decedent Ever in U.S. Armed Forces? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
13. Residence: Number and Street (e.g., 824 SE 5th Street, Apt. No. 8) 87432 Cranberry Creek Lane				14. City/Town Bandon		
15. Residence County Coos		16. State or Foreign Country Oregon		17. Zip Code + 4 97411		18. Inside City Limits? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown
19. Marital Status at Time of Death Divorced			20. Spouse's Name (if married or widowed, give name prior to first marriage.) Not applicable			
21. Usual Occupation (Indicate type of work done during most of working life. DO NOT USE "RETIRED.") Owner				22. Kind of Business/Industry (DO NOT USE COMPANY NAME.) Antique store		
23. Father's Name (First, Middle, Last, Suffix) Solomon Leff			24. Mother's Name Prior to First Marriage (First, Middle, Last) Sophia Feinman			
25. Informant's Name David R. Leff		26. Telephone Number 541-347-4262	27. Relation to Decedent Son	28. Mailing Address (Number & Street, City/Town, State, Zip + 4) 87432 Cranberry Creek Lane Bandon, OR 97411		
29. Place of Death Decedent's residence			30. Facility Name Not applicable			
31. Location of Death (Give address.) 87432 Cranberry Creek Lane			32. City/Town or Location of Death Bandon		33. State OR	34. Zip Code + 4 97411
35. Method of Disposition Burial		36. Place of Disposition (Name of cemetery, crematory, or other place) Sunset Memorial Park		37. Location 63060 Millington Frontage Rd		
38. Name and Complete Address of Funeral Facility (Number & Street, City/Town, State, Zip + 4) Coos Bay Chapel 685 Anderson Ave. Coos Bay, OR 97420				39. Date of Disposition (MO/DO/YYYY) Dec. 21, 2010		
40. Funeral Director's Signature <i>Thomas Goutier</i>			41. OR License Number CO-3504		42. Registrar's Signature <i>Mareen Marone</i>	
43. Date Received (MO/DO/YYYY) Dec 28, 2010			44. Local File Number 10778			

46. Was case referred to Medical Examiner? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		47. Autopsy? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	48. Were autopsy findings available to complete the cause of death? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		49. Time of Death 11:20 AM
CAUSE OF DEATH (See instructions and examples.)					
50. Enter the chain of events - diseases, injuries, or complications - that directly caused the death. DO NOT ENTER TERMINAL EVENTS such as cardiac arrest, respiratory arrest or ventricular fibrillation without showing the etiology. DO NOT ABBREVIATE.				Approximate Interval: Onset to Death	
Final disease or condition resulting in death ->		IMMEDIATE CAUSE ↓		9 Months	
Sequentially list conditions, if any, leading to the cause listed on line a.		a. Constrictive Heart Failure		Years	
ENTER THE UNDERLYING CAUSE LAST (disease or injury that initiated the events resulting in death).		b. Coronary artery Disease			
51. Other significant conditions contributing to death, but not resulting in the underlying cause given above: COPD, HTN		c. Due to (or as a consequence of) ↓			
52. Manner of Death		53. If Female		54. Did tobacco use contribute to death?	
<input checked="" type="checkbox"/> Natural <input type="checkbox"/> Homicide <input type="checkbox"/> Not pregnant within past year <input type="checkbox"/> Not pregnant, but pregnant 43 days to 1 year before death		<input type="checkbox"/> Not pregnant at time of death <input type="checkbox"/> Unknown if pregnant within the past year		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Probably <input type="checkbox"/> No <input type="checkbox"/> Unknown	
55. Date of Injury (MO/DO/YYYY)		56. Time of Injury		57. Place of Injury (e.g., Decedent's home, construction site, restaurant, wooded area)	
58. Injury at Work? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown		59. Location of Injury (Number & Street, City/Town, State, Zip + 4)		60. Describe how injury occurred.	
61. If transportation injury, specify. <input type="checkbox"/> Driver/Operator <input type="checkbox"/> Passenger <input type="checkbox"/> Pedestrian <input type="checkbox"/> Other (Specify)		62. Name and Address of Certifier (Number & Street, City/Town, State, Zip + 4) Jeffrey Scott 110 10th St. SE Bandon, OR 97411		63. Name and Title of Attending Physician if Other than Certifier	
64. Title of Certifier D.O.		65. License Number D023306		66. Date Signed (MO/DO/YYYY) 12/22/2010	
67. Medical Certifier - To the best of my knowledge, death occurred at the time, date, and place, and due to the cause(s) and manner stated. <i>Jeffrey Scott D.O.</i>		68. Medical Examiner - On the basis of examination, and/or investigation, in my opinion, death occurred at the time, date, and place, and due to the cause(s) and manner stated.			
69. Record Amendment					

ORIGINAL - VITAL RECORDS COPY 45-2 (06/06)

Return to David R. Leff 87432 Cranberry Crk. Ln. Bandon Or. 97411

THIS IS A TRUE AND EXACT REPRODUCTION OF THE DOCUMENT OFFICIALLY REGISTERED AT THE OFFICE OF THE COOS COUNTY REGISTRAR.

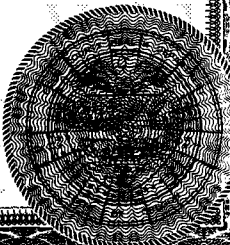
Frances Hall Smith
 FRANCES HALL SMITH
 COUNTY REGISTRAR
 COOS COUNTY, OREGON

DATE ISSUED: **DEC 28 2010**

THIS COPY IS NOT VALID WITHOUT INTAGLIO STATE SEAL AND BORDER.

ANY ALTERATION OR ERASURE VOIDS THIS CERTIFICATE

01/18/2011 09:23:07AM
 PAGE 1 OF 1
2011 453
 COOS COUNTY CLERK, OREGON
 TERRI L. TURI, CCC, COUNTY CLERK
 TOTAL \$41.00



OK

WARRANTY DEED—SURVIVORSHIP

88 04 1381

KNOW ALL MEN BY THESE PRESENTS, That CLIFFORD TURNER and OLIVIA TURNER, Husband and Wife

for the consideration hereinafter stated to the grantor paid by MARTIN LEFF and DAVID R. LEFF

hereinafter called grantees, hereby grants, bargains, sells and conveys unto the said grantees, not as tenants in common but with the right of survivorship, their assigns and the heirs of the survivor of said grantees, all of the following described real property with the tenements, hereditaments and appurtenances thereunto belonging or in any wise appertaining, situated in the County of COOS, State of Oregon, to-wit:

SEE ATTACHED EXHIBIT "A"

(IF SPACE INSUFFICIENT, CONTINUE DESCRIPTION ON REVERSE SIDE)

TO HAVE AND TO HOLD the above described and granted premises unto the said grantees, their assigns and the heirs of such survivor, forever; provided that the grantees herein do not take the title in common but with the right of survivorship, that is, that the fee shall vest absolutely in the survivor of the grantees.

And the grantor above named hereby covenants to and with the above named grantees, their heirs and assigns, that grantor is lawfully seized in fee simple of said premises, that same are free from all encumbrances except as set forth on the attached exhibit "B"

and that grantor will warrant and forever defend the said premises and every part and parcel thereof against the lawful claims and demands of all persons whomsoever, except those claiming under the above described encumbrances.

The true and actual consideration paid for this transfer, stated in terms of dollars, is \$ 175,000.00

However, the actual consideration consists of or includes other property or value given or promised which is the whole consideration (indicate which) (The sentence between the symbols @, if not applicable, should be deleted. See ORS 93.030.)

In construing this deed and where the context so requires, the singular includes the plural and all grammatical changes shall be implied to make the provisions hereof apply equally to corporations and to individuals.

In Witness Whereof, the grantor has executed this instrument this 25th day of APRIL, 1988; if a corporate grantor, it has caused its name to be signed and seal affixed by its officers, duly authorized thereto by order of its board of directors.

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES.

Clifford Turner (Clifford Turner)

Olivia Turner (Olivia Turner)

STATE OF OREGON, County of COOS, April 25, 19 88

STATE OF OREGON, County of, 19

Personally appeared who, being duly sworn, each for himself and not one for the other, did say that the former is the president and that the latter is the secretary of

Personally appeared the above named CLIFFORD TURNER and OLIVIA TURNER

and acknowledged the foregoing instrument to be their voluntary act and deed.

a corporation, and that the seal affixed to the foregoing instrument is the corporate seal of said corporation and that said instrument was signed and sealed in behalf of said corporation by authority of its board of directors; and each of them acknowledged said instrument to be its voluntary act and deed.

(OFFICIAL SEAL)

(OFFICIAL SEAL)

Notary Public for Oregon My commission expires 10-16-1990

Notary Public for Oregon My commission expires:

(If executed by a corporation, affix corporate seal)

Clifford Turner 3524 Ash St. North Bend, Oregon 97459 GRANTOR'S NAME AND ADDRESS

Martin Leff 2751 Rinconia Dr. Los Angeles, California 90068 GRANTEE'S NAME AND ADDRESS

After recording return to: Martin Leff 2751 Rinconia Dr. Los Angeles, California 90068 NAME, ADDRESS, ZIP

Until a change is requested all tax statements shall be sent to the following address. Martin Leff & David R. Leff 2751 Rinconia Dr. Los Angeles, California 90068 NAME, ADDRESS, ZIP

Vertical stamp: RECORDED FOR COUNTY CLERK'S USE APR 25 2:30 PM '88 State of Oregon County of Coos

STATE OF OREGON, County of

I certify that the within instrument was received for record on the day of 19, at o'clock M., and recorded in book/reel/volume No. on page or as fee/file/instrument/microfilm/reception No. of Deeds of said county.

Witness my hand and seal of County affixed.

NAME TITLE Deputy

EXHIBIT "A"

That part of the NE 1/4 of the NE 1/4 of Section 25, Township 29 South, Range 15 West of the Willamette Meridian, Coos County, Oregon, lying West of the Roosevelt Highway, now Coast Highway, as existing January 2, 1929, excepting therefrom the parcel heretofore sold to one John Adams by Elbert Dyer, containing about two acres, more or less, as per deed therefore now of record.

ALSO: The S 1/2 of the SE 1/4 and the NW 1/4 of the SE 1/4 of Section 24, Township 29 South, Range 15 West of the Willamette Meridian, Coos County, Oregon.

ALSO: That part of the NW 1/4 of the NW 1/4 of Section 30, Township 29 South, Range 14 West of the Willamette Meridian, Coos County, Oregon, lying West of the Roosevelt Highway, now Coast Highway, as existing January 2, 1929.

EXCEPTING THEREFROM that portion embraced in the deed to the State of Oregon, by and through its Department of Transportation, in instrument recorded March 26, 1984, bearing Microfilm Reel No. 84-2-1888, Records of Coos County, Oregon.-----

EXHIBIT "B"

1. As disclosed by the tax roll the premises herein described have been zoned or classified for farm use. At any time that said land is disqualified for such use, the property will be subject to additional taxes or penalties and interest.
2. As disclosed by the tax roll the premises herein described are classified as Forest Lands. In the event of declassification, said premises will be subject to additional taxes and interest pursuant to the provisions of ORS Chapter 321.
3. Reservation of a roadway to Leslie M. Kranick, as set forth in instrument recorded December 14, 1942, in Book 118, Page 219, Deed Records of Coos County, Oregon.
4. Access restrictions, including the terms and provisions thereof, contained in deed to State of Oregon, by and through its Department of Transportation, as set forth in instrument recorded March 26, 1984, bearing Microfilm Reel No. 84-2-1888, Records of Coos County, Oregon.
5. Easement, including the terms and provisions thereof, for telephone line, to General Telephone Company of the Northwest, Inc., by instrument recorded October 23, 1987, bearing Microfilm Reel No. 87-5-7965, Records of Coos County, Oregon.-----

RECORDED BY

 **TICOR TITLE
INSURANCE**

Coos County Oregon

54239